

**EXHIBIT M**

**GMP AMENDMENT TO AGREEMENT BETWEEN OWNER AND CONSTRUCTION CONTRACTOR**

**AMENDMENT NO. 1 TO AGREEMENT BETWEEN OWNER AND CONSTRUCTION CONTRACTOR FOR Cross Keys High School  
AGREEMENT NO. 423.71.04.00.214423.752.0000**

Pursuant to Sections 4.B and 7.A of the Construction Management Agreement (“Agreement”), dated 11/19/2018, between The School Board of DeKalb County, Georgia (“Owner”) and Evergreen Construction (“Construction Contractor”), with respect to the construction of Owner’s New Cross Keys High School (“Project”), Owner and Construction Contractor hereby agree to amend and modify the Agreement by this Amendment No. 1 and establish a Guaranteed Maximum Price and Contract Time for all the Work as set forth below. All capitalized terms not defined herein shall have the meaning ascribed to them in the Agreement, unless otherwise noted.

**ARTICLE 1**

**SCOPE OF WORK**

The scope of the Work consists of the construction of a Renovation and Modernization to the existing Cross Keys High School, in accordance with the Agreement, this Amendment and the other Contract Documents listed as Attachments 1 through 5 below, which are hereby incorporated into and made a part of the Amendment by this reference:

<b><u>Attachment No.</u></b>	<b><u>Description</u></b>	<b><u>Pages</u></b>	<b><u>Date</u></b>
List of Drawings, Specifications and Addendums			
1.	Allowances	<u>1</u> through <u>1</u>	<u>4/8/24</u>
2.	Assumptions and Clarifications	<u>1</u> through <u>1</u>	<u>4/8/24</u>
3.	Completion Schedule	<u>1</u> through <u>1</u>	<u>4/8/24</u>
4.	Schedule of Values	<u>1</u> through <u>8</u>	<u>4/8/24</u>
5.	List of Itemized General Conditions	<u>1</u> through <u>9</u>	<u>4/8/24</u>
6.	List of Subcontractors and Major Suppliers	_____ through _____	_____
7.	Alternates	_____ through _____	_____

## ARTICLE 2

### GUARANTEED MAXIMUM PRICE

2.1 Construction Contractor's Guaranteed Maximum Price ("GMP") for the Work, including the estimated Cost of the Work as defined in Section 5 of the Agreement and the Construction Management Fee as defined in Section 4 of the Agreement, is Forty four million four hundred nineteen thousand seventy seven dollars. (\$ 44,419,077).

2.2 The Construction Management Fee for the entire Work anticipated on this Project is hereby established as a lump sum amount of One million three hundred thousand six hundred five (\$ 1,300,605), said lump sum amount is included within the above noted GMP.

2.3 The general condition expenses for the entire Work anticipated on this Project are hereby established as a lump sum amount of Three million four hundred thirty thousand two hundred eighty one (\$ 3,430,281), said lump sum amount is included within the above noted GMP ("General Conditions Expenses"). The items included as General Condition Expenses are listed in the List of Itemized General Conditions attached hereto and incorporated herein as Attachment No. 5. Except as said lump sum amount for General Condition Expenses may be expressly adjusted by Change Order or Construction Change Directive, Construction Contractor acknowledges and agrees that Owner shall have no liability for any General Condition expenses beyond payment of the above noted lump sum amount and Construction Contractor agrees that it shall not be entitled to receive any additional compensation from Owner for the General Conditions beyond the above lump sum amount. There shall be no additional General Conditions Expenses payable to Construction Contractor on the first Five Hundred Thousand and No/100 Dollars (\$500,000.00) of Change Order or Construction Change Directive Work (i.e. the lump sum amount specified in this Subsection includes consideration for up to \$500,000.00 of Change Order and/or Construction Change Directive Work). Further, there shall be no mark-up for a subcontractor's General Conditions expenses on the first One Hundred Thousand and No/100 Dollars (\$100,000.00) of Change Order and Construction Change Directive Work to be performed by such subcontractor.

2.4 Monthly installment payment of the Construction Management Fee and the General Condition Expenses shall be based upon the percent completion of the designated portion of the Work for each particular month.

2.5 In order to efficiently and timely address any unknown or unanticipated conditions that are within the scope of the Work and are otherwise reimbursable without duplication as a Cost of the Work, but excluding all items that are to be reimbursed under the lump sum General Condition expense amount noted in Subsection 2.4 above, the parties have agreed to establish a contingency within the GMP in an amount not-to-exceed amount of <sup>One million nine hundred eighty two</sup>thousand four hundred thirty six and     /100 Dollars (\$ 1,982,436) ("**Owner's Contingency**"). Owner's Contingency funds shall be used to cover costs that may result from incomplete design and unanticipated costs that arise during construction that are not identified by the construction documents. Construction

Contractor shall not proceed with any portion of the Work which it intends to charge against the Owner's Contingency without first obtaining Owner's express written authorization to proceed. Construction Contractor acknowledges and agrees that any portion of the Work which is to be charged against the Owner's Contingency that does not receive such prior written approval from Owner shall be deemed to be part of Construction Contractor's Work compensated within the GMP and not chargeable against Owner's Contingency. Owner reserves the right, at its sole discretion, to withhold its consent on Owner's Contingency expenditures. Further, the work that is the subject of any Owner's Contingency expenditures shall be deemed part of the Work. The GMP shall be reduced by unused Owner's Contingency remaining at the completion of the Work. Construction Contractor has no entitlement to any portion of any unused Owner's Contingency.

2.6 In order to efficiently and timely address any unknown or unanticipated conditions that are within the scope of the Work and are otherwise reimbursable without duplication as a Cost of the Work, but excluding all items that are to be reimbursed under the lump sum General Condition expense amount noted in Subsection 2.4 above, the parties have agreed to establish a contingency within the GMP in an amount not-to-exceed <sup>One million nine hundred</sup> ~~eighty two thousand four~~ <sub>hundred thirty six</sub> and /100 Dollars (\$1,982,436) ("**Contractor's Contingency**"). Construction Contractor shall not proceed with any portion of the Work which it intends to charge against the Contractor's Contingency without first obtaining Owner's express written authorization to proceed. Construction Contractor acknowledges and agrees that any portion of Work which is to be charged against the Contractor's Contingency that does not receive such prior written approval from Owner shall be deemed to be part of Construction Contractor's Work compensated within the GMP and not chargeable against Contractor's Contingency. Owner reserves the right, at its sole discretion, to withhold its consent on Contractor's Contingency expenditures. Further, the work that is the subject of any Owner's Contingency expenditures shall be deemed part of the Work. The GMP shall be reduced by unused Contractor's Contingency remaining at the completion of the Work. Construction Contractor has no entitlement to any portion of any unused Contractor's Contingency. Construction Contractor shall be entitled to an increase in the Construction Management Fee in the amount of \_\_\_\_\_% of the Cost of the Work charged against the Contractor's Contingency.

2.7 The parties have agreed to establish an allowance within the GMP for See allowances log in the amount of \_\_\_\_\_ and /100 Dollars (\$ 12,841,687 ). Construction Contractor shall not proceed with any portion of the Work associated with the aforesaid allowance ("**Allowance Work**") without first obtaining Owner's express written authorization to proceed with said Allowance Work. Allowance Amounts are reflected in Attachments 1 through. Unless otherwise provided in the Contract Documents: (a) allowances amounts shall cover the cost to Construction Contractor of materials and equipment delivered at the site and all required taxes, less applicable trade discounts; (b) Construction Contractor's costs for unloading and handling at the site, labor, installation costs, overhead, profit and other expenses contemplated for stated allowance amounts shall be included in the GMP but not in the allowances, unless otherwise stated in the allowance; and (c) whenever costs are more than or less than allowances, the GMP shall be adjusted accordingly by Change Order.

2.8 Pursuant to Subsection 12.3 of Exhibit A to the Agreement, if at the time final payment is made to Construction Contractor the total Cost of the Work has been increased by approved Change Orders in an amount causing the original GMP as set forth in this Amendment to be exceeded by more than \_\_\_\_\_ and /100 Dollars (\$ \_\_\_\_\_), then Construction Contractor shall be entitled to an increase in the Construction Management Fee in the amount of \_\_\_\_\_ and /100 Dollars ( \_\_\_\_\_ %) of the amount exceeding the sum of \_\_\_\_\_ and /100 Dollars (\$ \_\_\_\_\_) plus that original GMP amount.

2.9 Construction Contractor recognizes that the Contract includes work for trench excavation in excess of five feet deep. Construction Contractor acknowledges the requirements set forth by all federal, state and local requirements. Construction Contractor certifies that the required trench safety standards will be in effect during the period of construction of the Project and Construction Contractor agrees to comply with all such required trench safety standards.

2.10.1 The amount of Zero and /100 Dollars (\$ 0) has been separately identified for the cost of compliance with the required trench safety standards; said amount is included within the GMP.

2.10 At the completion of the Work, should the actual amount of "General Requirements" expenses be less than the amount included therefor in the Schedule of Values approved by Owner, the resulting "savings" shall accrue to the benefit of Owner and a deductive Change Order or Construction Change Directive shall be issued reducing the GMP by the amount of such savings. For the avoidance of doubt, any savings obtained General Requirements expenses may not be moved to contingency or be used to offset cost overruns in other items within the GMP. Further, the line item for General Requirements expenses in the Schedule of Values constitutes a separate guaranteed maximum price for such expenses and any overruns in General Requirements expenses shall be borne by Construction Contractor without reimbursement from Owner.

2.11 By executing this Amendment and furnishing Owner with a GMP based on a detailed Schedule of Values and a Master Project Schedule, Construction Contractor represents and warrants that the Contract Documents, including the Construction Documents, as well as other materials, and information furnished Construction Contractor as of the date of this Amendment have described the scope, construction requirements, and design intent of the Work in detail sufficient to enable Construction Contractor to establish firmly the GMP, Contract Time and the Project Schedule. To the extent that the Construction Documents are anticipated to require further development, Construction Contractor has provided in the GMP for such further development consistent with the Contract Documents and reasonably inferable therefrom.

2.12 Savings will be computed as of the date of final completion of the Work and shall consist of the difference between (i) the Guaranteed Maximum Price (as it may be adjusted in accordance with the terms of the Contract Documents) and (ii) the total aggregate sum of the Cost of the Work plus the Construction Management Fee paid by Owner shall accrue to the sole benefit of Owner.

**ARTICLE 3**

**CONTRACT TIME**

3.1 The Construction Phase Commencement Date for the Work is Pending Permitting. The total period of time beginning with the Construction Phase Commencement Date through the date required for Substantial Completion of the Work is To be determined (\_\_\_\_\_) days ("**Contract Time**"). THE SUBSTANTIAL COMPLETION DATE IS THEREFORE ESTABLISHED AS To be determined.

3.2 Pursuant to the Agreement, the parties have established liquidated damage rates for reasons stated therein, which the parties acknowledge and agree apply to this Amendment and Construction Contractor's responsibility to substantially complete the Work within the Contract Time as stated herein and finally complete the Work within the time prescribed in the Contract. Accordingly, the liquidated damage rates established in the Agreement shall be assessed against Construction Contractor for each calendar day Construction Contractor fails to achieve Substantial Completion of the Work within the Contract Time or final completion of the Work within the time prescribed in the Contract.

**ARTICLE 4**

**MISCELLANEOUS**

4.1 Except as expressly modified herein, the terms and conditions of the Agreement remain unchanged. All terms not specifically defined herein shall have the meaning ascribed to them in the Agreement. In the event of a conflict between the terms of this Amendment and those of the Agreement, Owner and Construction Contractor agree that the terms of this Amendment shall prevail and control. This Amendment may be executed in counterparts, each of which shall be deemed to be an original, but all of which shall constitute one and the same instrument.

Owner

Construction Contractor

By: \_\_\_\_\_

By: 

Its: \_\_\_\_\_

Its: President

Date: \_\_\_\_\_

Date: April 8, 2024

Attest: \_\_\_\_\_

Attest: 

## List of Drawings, Specifications, and Addenda

	DESCRIPTION	DATED
<b>GENERAL</b>		
G0.00	COVER SHEET	3/28/2024
G0.01	DRAWING INDEX	3/28/2024
G0.02	GENERAL INFORMATION	3/28/2024
G1.01	MEANS OF EGRESS PLAN - LEVEL 1	3/28/2024
G1.02	MEANS OF EGRESS PLAN - LEVEL 2 & 3	3/28/2024
G2.00	CONSTRUCTION PHASING DIAGRAMS	3/28/2024
<b>CIVIL</b>		
C1.0	COVER SHEET & GENERAL NOTES	3/28/2024
	SURVEY I SITE SURVEY I	3/28/2024
	SURVEY II SITE SURVEY II	3/28/2024
C3.0	OVERALL LAYOUT & STAKING PLAN	3/28/2024
C3.1	LAYOUT & STAKING PLAN I	3/28/2024
C3.2	LAYOUT & STAKING PLAN II	3/28/2024
C4.0	GRADING PLAN	3/28/2024
C4.1	GRADING PLAN I	3/28/2024
C4.2	GRADING PLAN II	3/28/2024
C4.3	DRAINAGE PLAN I	3/28/2024
C4.4	DRAINAGE PLAN II	3/28/2024
C5.0	UTILITY PLAN	3/28/2024
C5.1	UTILITY PLAN I	3/28/2024
C5.2	UTILITY PLAN II	3/28/2024
C6.0	PROFILE PLAN	3/28/2024
C6.1	PROFILE PLAN	3/28/2024
C7.0	CONSTRUCTION DETAILS	3/28/2024
C7.1	CONSTRUCTION DETAILS	3/28/2024
C7.2	CONSTRUCTION DETAILS	3/28/2024
C7.3	CONSTRUCTION DETAILS	3/28/2024
C7.4	CONSTRUCTION DETAILS	3/28/2024
C7.5	CONSTRUCTION DETAILS	3/28/2024
C7.6	CONSTRUCTION DETAILS	3/28/2024
C7.7	CONSTRUCTION DETAILS	3/28/2024
<b>LANDSCAPE</b>		
L0.00	GENERAL NOTES	3/28/2024
L1.01	OVERALL HARDSCAPE PLAN	3/28/2024
L1.02	HARDSCAPE PLAN	3/28/2024
L1.03	HARDSCAPE PLAN	3/28/2024
L1.04	HARDSCAPE PLAN	3/28/2024
L1.05	HARDSCAPE PLAN	3/28/2024
L1.06	HARDSCAPE ENLARGEMENT PLAN	3/28/2024
L1.07	HARDSCAPE ENLARGEMENT PLAN	3/28/2024
L2.01	HARDSCAPE DETAILS	3/28/2024
L2.02	HARDSCAPE DETAILS	3/28/2024
L3.00A	TREE REMOVAL PLAN	3/28/2024
L3.00B	TREE REMOVAL SCHEDULE	3/28/2024
L3.01	OVERALL LANDSCAPE PLAN	3/28/2024
L3.02	LANDSCAPE PLAN	3/28/2024
L3.03	LANDSCAPE PLAN	3/28/2024
L3.04	LANDSCAPE PLAN	3/28/2024
L3.05	LANDSCAPE PLAN	3/28/2024
L3.06	LANDSCAPE PLAN	3/28/2024
L3.07	LANDSCAPE PLAN	3/28/2024

## List of Drawings, Specifications, and Addenda

	DESCRIPTION	DATED
L4.00	LANDSCAPE NOTES AND DETAILS	3/28/2024
<b>DEMOLITION</b>		
D1.00	DEMOLITION SITE PLAN	3/28/2024
D2.01	OVERALL LEVEL 1 DEMOLITION PLAN	3/28/2024
D2.04	DEMOLITION ROOF PLAN	3/28/2024
D2.11D	DEMOLITION FLOOR PLAN - 100 WING	3/28/2024
D2.11E	DEMOLITION FLOOR PLAN - 200 WING	3/28/2024
D2.11F	DEMOLITION FLOOR PLAN - 300 WING + 400 WING	3/28/2024
D2.11J	DEMOLITION FLOOR PLAN - GYMNASIUM	3/28/2024
D2.11K	DEMOLITION FLOOR PLAN - GYMNASIUM	3/28/2024
D6.01	DEMOLITION SECTIONS & DETAILS	3/28/2024
<b>ARCHITECTURE</b>		
A1.00	ARCHITECTURAL SITE PLAN	3/28/2024
A2.01	OVERALL LEVEL 1 FLOOR PLAN	3/28/2024
A2.02	OVERALL LEVEL 2 & 3 FLOOR PLAN	3/28/2024
A2.04	ROOF PLAN	3/28/2024
A2.11A	LEVEL 1 FLOOR PLAN - AREA A	3/28/2024
A2.11B	LEVEL 1 FLOOR PLAN - AREA B	3/28/2024
A2.11C	LEVEL 1 FLOOR PLAN - AREA C	3/28/2024
A2.11D	LEVEL 1 FLOOR PLAN - AREA D	3/28/2024
A2.11E	LEVEL 1 FLOOR PLAN - AREA E	3/28/2024
A2.11F	LEVEL 1 FLOOR PLAN - AREA F/G	3/28/2024
A2.11H	LEVEL 1 FLOOR PLAN - AREA H	3/28/2024
A2.11J	LEVEL 1 FLOOR PLAN - AREA J	3/28/2024
A2.11K	LEVEL 1 FLOOR PLAN - AREA K/L	3/28/2024
A2.11M	LEVEL 1 FLOOR PLAN - AREA M	3/28/2024
A2.11N	LEVEL 1 FLOOR PLAN - AREA N	3/28/2024
A2.12A	LEVEL 2 FLOOR PLAN - AREA A	3/28/2024
A2.12B	LEVEL 2 FLOOR PLAN - AREA B	3/28/2024
A2.12C	LEVEL 2 FLOOR PLAN - AREA C	3/28/2024
A2.13A	LEVEL 3 FLOOR PLAN - AREA A	3/28/2024
A2.13B	LEVEL 3 FLOOR PLAN - AREA B	3/28/2024
A2.13C	LEVEL 3 FLOOR PLAN - AREA C	3/28/2024
A2.14A	ROOF PLAN - AREA A	3/28/2024
A2.14B	ROOF PLAN - AREA B	3/28/2024
A2.14C	ROOF PLAN - AREA C	3/28/2024
A2.14H	ROOF PLAN - AREA H	3/28/2024
A2.14K	ROOF PLAN - AREA K	3/28/2024
A2.14M	ROOF PLAN - AREA M	3/28/2024
A2.14N	ROOF PLAN - AREA N	3/28/2024
A2.40A	OVERALL LEVEL 1 REFLECTED CEILING PLAN	3/28/2024
A2.40B	OVERALL LEVEL 2 AND 3 REFLECTED CEILING PLANS	3/28/2024
A2.41A	LEVEL 1 REFLECTED CEILING PLAN - AREA A	3/28/2024
A2.41B	LEVEL 1 REFLECTED CEILING PLAN - AREA B	3/28/2024
A2.41C	LEVEL 1 REFLECTED CEILING PLAN - AREA C	3/28/2024
A2.41D	LEVEL 1 REFLECTED CEILING PLAN - AREA D	3/28/2024
A2.41E	LEVEL 1 REFLECTED CEILING PLAN - AREA E	3/28/2024
A2.41F	LEVEL 1 REFLECTED CEILING PLAN - AREA F/G	3/28/2024
A2.41H	LEVEL 1 REFLECTED CEILING PLAN - AREA H	3/28/2024
A2.41J	LEVEL 1 REFLECTED CEILING PLAN - AREA J	3/28/2024
A2.41K	LEVEL 1 REFLECTED CEILING PLAN - AREA K/L	3/28/2024
A2.41M	LEVEL 1 REFLECTED CEILING PLAN - AREA M	3/28/2024

## List of Drawings, Specifications, and Addenda

	DESCRIPTION	DATED
A2.41N	LEVEL 1 REFLECTED CEILING PLAN - AREA N	3/28/2024
A2.42A	LEVEL 2 REFLECTED CEILING PLAN - AREA A	3/28/2024
A2.42B	LEVEL 2 REFLECTED CEILING PLAN - AREA B	3/28/2024
A2.42C	LEVEL 2 REFLECTED CEILING PLAN - AREA C	3/28/2024
A2.43A	LEVEL 3 REFLECTED CEILING PLAN - AREA A	3/28/2024
A2.43B	LEVEL 3 REFLECTED CEILING PLAN - AREA B	3/28/2024
A2.43C	LEVEL 3 REFLECTED CEILING PLAN - AREA C	3/28/2024
A2.50A	FINISH SCHEDULES	3/28/2024
A2.50B	TYPICAL INTERIOR DETAILS	3/28/2024
A2.51A	LEVEL 1 FINISH PLAN - AREA A	3/28/2024
A2.51B	LEVEL 1 FINISH PLAN - AREA B	3/28/2024
A2.51C	LEVEL 1 FINISH PLAN - AREA C	3/28/2024
A2.51D	LEVEL 1 FINISH PLAN - AREA D	3/28/2024
A2.51E	LEVEL 1 FINISH PLAN - AREA E	3/28/2024
A2.51F	LEVEL 1 FINISH PLAN - AREA F/G	3/28/2024
A2.51H	LEVEL 1 FINISH PLAN - AREA H	3/28/2024
A2.51J	LEVEL 1 FINISH PLAN - AREA J	3/28/2024
A2.51K	LEVEL 1 FINISH PLAN - AREA K/L	3/28/2024
A2.51M	LEVEL 1 FINISH PLAN - AREA M	3/28/2024
A2.51N	LEVEL 1 FINISH PLAN - AREA N	3/28/2024
A2.52A	LEVEL 2 FINISH PLAN - AREA A	3/28/2024
A2.52B	LEVEL 2 FINISH PLAN - AREA B	3/28/2024
A2.52C	LEVEL 2 FINISH PLAN - AREA C	3/28/2024
A2.53A	LEVEL 3 FINISH PLAN - AREA A	3/28/2024
A2.53B	LEVEL 3 FINISH PLAN - AREA B	3/28/2024
A2.53C	LEVEL 3 FINISH PLAN - AREA C	3/28/2024
A2.61A	LEVEL 1 FURNITURE PLAN - AREA A	3/28/2024
A2.61B	LEVEL 1 FURNITURE PLAN - AREA B	3/28/2024
A2.61C	LEVEL 1 FURNITURE PLAN - AREA C	3/28/2024
A2.61D	LEVEL 1 FURNITURE PLAN - AREA D	3/28/2024
A2.61E	LEVEL 1 FURNITURE PLAN - AREA E	3/28/2024
A2.61F	LEVEL 1 FURNITURE PLAN - AREA F/G	3/28/2024
A2.61H	LEVEL 1 FURNITURE PLAN - AREA H	3/28/2024
A2.61J	LEVEL 1 FURNITURE PLAN - AREA J	3/28/2024
A2.61K	LEVEL 1 FURNITURE PLAN - AREA K/L	3/28/2024
A2.61M	LEVEL 1 FURNITURE PLAN - AREA M	3/28/2024
A2.61N	LEVEL 1 FURNITURE PLAN - AREA N	3/28/2024
A2.62A	LEVEL 2 FURNITURE PLAN - AREA A	3/28/2024
A2.62B	LEVEL 2 FURNITURE PLAN - AREA B	3/28/2024
A2.62C	LEVEL 2 FURNITURE PLAN - AREA C	3/28/2024
A2.63A	LEVEL 3 FURNITURE PLAN - AREA A	3/28/2024
A2.63B	LEVEL 3 FURNITURE PLAN - AREA B	3/28/2024
A2.63C	LEVEL 3 FURNITURE PLAN - AREA C	3/28/2024
A3.00	PLUMBING FIXTURES	3/28/2024
A3.01	ENLARGED RESTROOM PLANS	3/28/2024
A3.02	ENLARGED RESTROOM PLANS	3/28/2024
A3.03	ENLARGED RESTROOM PLANS	3/28/2024
A3.04	ENLARGED RESTROOM PLANS	3/28/2024
A3.05	ENLARGED RESTROOM PLANS	3/28/2024
A3.06	ENLARGED RESTROOM PLANS	3/28/2024
A3.11	ENLARGED CLASSROOM PLANS	3/28/2024
A3.12	ENLARGED CHEMISTRY LAB	3/28/2024

## List of Drawings, Specifications, and Addenda

	DESCRIPTION	DATED
A3.13	ENLARGED BIOLOGY LAB	3/28/2024
A3.14	ENLARGED PHYSICS LAB	3/28/2024
A3.16	ENLARGED TEACHER PLANNING ROOMS	3/28/2024
A3.22	ENLARGED HOME LIVING CENTER & LTSE CLASSROOM	3/28/2024
A3.23	ENLARGED SAFE CENTER	3/28/2024
A3.31	ENLARGED BAND SUITE	3/28/2024
A3.32	ENLARGED ORCHESTRA SUITE	3/28/2024
A3.34	ENLARGED KEYBOARD & PRACTICE ROOMS	3/28/2024
A3.37	ENLARGED BLACK BOX THEATER, CONCESSIONS & TICKETING	3/28/2024
A3.38	ENLARGED ART CLASSROOM	3/28/2024
A3.40	ENLARGED CAREER CENTER	3/28/2024
A3.43	ENLARGED ENGINEERING LAB	3/28/2024
A3.44	ENLARGED JROTC SUITE	3/28/2024
A3.47	ENLARGED FOOD SCIENCE LAB	3/28/2024
A3.50	ENLARGED MEDIA CENTER	3/28/2024
A3.51	INTERIOR ELEVATIONS - MEDIA CENTER	3/28/2024
A3.52	INTERIOR ELEVATIONS - MEDIA CENTER	3/28/2024
A3.60	ENLARGED GYMNASIUM	3/28/2024
A3.61	INTERIOR ELEVATIONS - GYMNASIUM	3/28/2024
A3.62	ENLARGED AUX. GYMNASIUM	3/28/2024
A3.63	ENLARGED GYMNASIUM LOCKER ROOMS & TRAINING ROOM	3/28/2024
A3.64	ENLARGED WRESTLING ROOM	3/28/2024
A3.65	ENLARGED WEIGHT ROOM	3/28/2024
A3.71	ENLARGED DINING/COMMONS	3/28/2024
A3.72	INTERIOR ELEVATIONS - DINING / COFFEE BAR LOUNGE	3/28/2024
A3.90	ENLARGED AUDITORIUM	3/28/2024
A3.91	ENLARGED AUDITORIUM ELEVATIONS	3/28/2024
A3.92	ENLARGED AUDITORIUM DRESSING ROOMS	3/28/2024
A3.93	ENLARGED SCENE SHOP	3/28/2024
A3.94	ENLARGED STUDENT COLLABORATION SPACES	3/28/2024
A4.01	EXTERIOR ELEVATIONS	3/28/2024
A4.02	ENLARGED EXTERIOR ELEVATIONS - GYMNASIUM	3/28/2024
A4.03	ENLARGED EXTERIOR ELEVATIONS - AUDITORIUM & CAFETERIA	3/28/2024
A4.04	ENLARGED EXTERIOR ELEVATIONS - MEDIA CENTER	3/28/2024
A5.01	BUILDING SECTIONS	3/28/2024
A5.02	EXTERIOR PERSPECTIVES - AUDITORIUM	3/28/2024
A5.03	INTERIOR PERSPECTIVES - AUDITORIUM	3/28/2024
A5.04	INTERIOR PERSPECTIVES - MEDIA CENTER	3/28/2024
A5.05	EXTERIOR PERSPECTIVES - BACKSDIE /CAFETERIA	3/28/2024
A5.06	EXTERIOR PERSPECTIVES - PARENT DROP-OFF	3/28/2024
A6.00	EXTERIOR ASSEMBLIES	3/28/2024
A6.01	EXTERIOR WALL SECTIONS	3/28/2024
A6.02	EXTERIOR WALL SECTIONS	3/28/2024
A6.03	EXTERIOR WALL SECTIONS	3/28/2024
A6.04	EXTERIOR WALL SECTIONS	3/28/2024
A6.10	PLAN DETAILS	3/28/2024
A7.01	STAIR PLANS & SECTIONS	3/28/2024
A7.02	STAIR PLANS & SECTIONS	3/28/2024
A7.03	STAIR PLANS & SECTIONS	3/28/2024
A7.08	METAL PAN STAIR & RAILING DETAILS	3/28/2024
A7.10	ELEVATOR PLANS, ELEVATIONS, SECTIONS & DETAILS	3/28/2024
A8.10	DOOR SCHEDULE AND TYPES	3/28/2024

	DESCRIPTION	DATED
A8.11	DOOR SCHEDULE AND TYPES	3/28/2024
A8.12	DOOR DETAILS (STEEL STUD PARTITIONS)	3/28/2024
A8.13	DOOR DETAILS (CMU PARTITIONS)	3/28/2024
A8.14	DOOR DETAILS (CMU PARTITIONS)	3/28/2024
A9.01	INTERIOR PARTITIONS	3/28/2024
A9.02	INTERIOR PARTITIONS	3/28/2024
A9.03	INTERIOR PARTITIONS	3/28/2024
A9.04	INTERIOR PARTITIONS (CMU)	3/28/2024
A9.10	FIRE PROTECTION DETAILS	3/28/2024
A9.11	FIRE PROTECTION DETAILS	3/28/2024
<b>FOOD SERVICE</b>		
QF0.0	FOODSERVICE GENERAL NOTES	3/28/2024
QF0.1	FOODSERVICE EQUIPMENT PLAN STANDARD DETAILS	3/28/2024
QF0.2	FOODSERVICE EQUIPMENT PLAN STANDARD DETAILS	3/28/2024
QF0.3	FOODSERVICE EQUIPMENT PLAN STANDARD DETAILS	3/28/2024
QF0.4	FOODSERVICE EQUIPMENT PLAN STANDARD DETAILS	3/28/2024
QF0.5	FOODSERVICE EQUIPMENT PLAN STANDARD DETAILS	3/28/2024
QF0.6	FOODSERVICE EQUIPMENT PLAN STANDARD DETAILS	3/28/2024
QF0.7	FOODSERVICE EQUIPMENT PLAN STANDARD DETAILS	3/28/2024
QF1.0	FOODSERVICE EQUIPMENT PLAN - OVERALL	3/28/2024
QF1.1	FOODSERVICE EQUIPMENT PLAN - OVERALL KITCHEN	3/28/2024
QF1.2	FOODSERVICE EQUIPMENT PLAN - KITCHEN NORTH	3/28/2024
QF1.3	FOODSERVICE EQUIPMENT PLAN - KITCHEN SOUTH	3/28/2024
QF1.4	FOODSERVICE EQUIPMENT SCHEDULE	3/28/2024
QF6.01	FOODSERVICE EQUIPMENT ELECTRICAL PLAN – KN	3/28/2024
QF6.02	FOODSERVICE EQUIPMENT ELECTRICAL PLAN - KS	3/28/2024
QF6.03	FOODSERVICE EXHAUST HOOD VENDOR DETAILS	3/28/2024
QF6.04	FOODSERVICE EXHAUST HOOD VENDOR DETAILS	3/28/2024
QF6.05	FOODSERVICE EXHAUST HOOD VENDOR DETAILS	3/28/2024
QF6.06	FOODSERVICE EXHAUST HOOD VENDOR DETAILS	3/28/2024
QF6.07	FOODSERVICE EXHAUST HOOD VENDOR DETAILS	3/28/2024
QF6.08	FOODSERVICE EXHAUST HOOD VENDOR DETAILS	3/28/2024
QF6.09	FOODSERVICE EXHAUST HOOD VENDOR DETAILS	3/28/2024
QF6.10	FOODSERVICE EXHAUST HOOD VENDOR DETAILS	3/28/2024
QF6.11	FOODSERVICE EXHAUST HOOD VENDOR DETAILS	3/28/2024
QF6.12	FOODSERVICE EXHAUST HOOD VENDOR DETAILS	3/28/2024
QF6.13	FOODSERVICE EXHAUST HOOD VENDOR DETAILS	3/28/2024
<b>STRUCTURAL</b>		
S0.00	GENERAL NOTES	3/28/2024
S0.01	GENERAL NOTES	3/28/2024
S0.02	3D VIEWS	3/28/2024
S1.01	TYPICAL SECTIONS AND DETAILS	3/28/2024
S1.02	TYPICAL SECTIONS AND DETAILS	3/28/2024
S1.03	TYPICAL CMU WALL DETAILS	3/28/2024
S1.04	TYPICAL CMU WALL DETAILS	3/28/2024
S1.05	TYPICAL COMPOSITE SLAB DETAILS	3/28/2024
S1.06	TYPICAL COMPOSITE SLAB DETAILS	3/28/2024
S1.07	TYPICAL COMPOSITE SLAB DETAILS	3/28/2024
S1.08	TYPICAL STEEL BEAM DETAILS	3/28/2024
S1.09	TYPICAL STEEL JOIST DETAILS	3/28/2024
S1.10	TYPICAL ROOF DETAILS	3/28/2024
S2.01	OVERALL LEVEL 1 FOUNDATION PLAN	3/28/2024
S2.02	OVERALL LEVEL 2 FRAMING PLAN	3/28/2024
S2.03	OVERALL LEVEL 3 FRAMING PLAN	3/28/2024

## List of Drawings, Specifications, and Addenda

	DESCRIPTION	DATED
S2.04	OVERALL ROOF FRAMING PLAN	3/28/2024
S2.11A	LEVEL 1 FOUNDATION PLAN - NEW BUILDING SOUTH	3/28/2024
S2.11C	LEVEL 1 FOUNDATION PLAN - NEW BUILDING NORTH	3/28/2024
S2.11H	LEVEL 1 & ROOF PLANS - HALLWAY	3/28/2024
S2.11M	LEVEL 1 FOUNDATION PLAN - MUSIC SUITES	3/28/2024
S2.11N	LEVEL 1 FOUNDATION PLAN - AUDITORIUM	3/28/2024
S2.12A	LEVEL 2 FRAMING PLAN - NEW BUILDING SOUTH	3/28/2024
S2.12C	LEVEL 2 FRAMING PLAN - NEW BUILDING NORTH	3/28/2024
S2.12M	ROOF PLAN - MUSIC SUITES	3/28/2024
S2.12N	ROOF PLAN - AUDITORIUM	3/28/2024
S2.13A	LEVEL 3 FRAMING PLAN - NEW BUILDING SOUTH	3/28/2024
S2.13C	LEVEL 3 FRAMING PLAN - NEW BUILDING NORTH	3/28/2024
S2.14A	ROOF PLAN - NEW BUILDING SOUTH	3/28/2024
S2.14C	ROOF PLAN - NEW BUILDING NORTH	3/28/2024
S3.01	FOUNDATION SECTIONS AND DETAILS	3/28/2024
S3.02	FOUNDATION SECTIONS AND DETAILS	3/28/2024
S4.01	NEW BUILDING NORTH COLUMN SCHEDULE	3/28/2024
S4.02	NEW BUILDING SOUTH STEEL COLUMN SCHEDULE	3/28/2024
S4.03	AUDITORIUM STEEL COLUMN SCHEDULE	3/28/2024
S4.04	AUDITORIUM STEEL COLUMN SCHEDULE	3/28/2024
S4.05	BRACED FRAME TYPICAL DETAILS	3/28/2024
S4.06	BRACED FRAME ELEVATIONS	3/28/2024
S5.00	SECTIONS AND DETAILS	3/28/2024
S6.00	NEW BUILDING CANOPIES	3/28/2024
<b>MECHANICAL</b>		
M0.01	HVAC GENERAL NOTES & LEGEND	3/28/2024
M1.01	HVAC DEMO WORK - LEVEL 1 - AREA A	3/28/2024
M1.02	HVAC DEMO WORK - LEVEL 1 - AREA B	3/28/2024
M1.03	HVAC DEMO WORK - LEVEL 1 - AREA C	3/28/2024
M1.04	HVAC DEMO WORK - LEVEL 1 - AREA D	3/28/2024
M1.05	HVAC DEMO WORK - LEVEL 1 - AREA E	3/28/2024
M1.06	HVAC DEMO WORK - LEVEL 1 - AREA F	3/28/2024
M1.07	HVAC DEMO WORK - LEVEL 1 - AREA G	3/28/2024
M1.08	HVAC DEMO WORK - LEVEL 1 - AREA H	3/28/2024
M1.09	HVAC DEMO WORK - LEVEL 1 - AREA J	3/28/2024
M1.10	HVAC DEMO WORK - MEZZANINE - AREA J	3/28/2024
M1.11	HVAC DEMO WORK - LEVEL 1 - AREA K	3/28/2024
M1.12	HVAC DEMO WORK - LEVEL 1 - AREA L	3/28/2024
M1.13	HVAC DEMO WORK - LOW ROOF - AREA A, B, & C	3/28/2024
M1.14	HVAC DEMO WORK - LOW ROOF - AREA D & E	3/28/2024
M1.15	HVAC DEMO WORK - LOW ROOF - AREA F, G, H	3/28/2024
M1.16	HVAC DEMO WORK - MID ROOF - AREA J, K, & L	3/28/2024
M1.17	PIPING DEMO WORK - LEVEL 1 - AREA A	3/28/2024
M1.18	PIPING DEMO WORK - LEVEL 1 - AREA B	3/28/2024
M1.19	PIPING DEMO WORK - LEVEL 1 - AREA C	3/28/2024
M1.20	PIPING DEMO WORK - LEVEL 1 - AREA D	3/28/2024
M1.21	PIPING DEMO WORK - LEVEL 1 - AREA E	3/28/2024
M1.22	PIPING DEMO WORK - LEVEL 1 - AREA F	3/28/2024
M1.23	PIPING DEMO WORK - LEVEL 1 - AREA G	3/28/2024
M1.24	PIPING DEMO WORK - LEVEL 1 - AREA H	3/28/2024
M2.01	HVAC NEW WORK - LEVEL 1 - AREA A	3/28/2024
M2.02	HVAC NEW WORK - LEVEL 1 - AREA B	3/28/2024
M2.03	HVAC NEW WORK - LEVEL 1 - AREA C	3/28/2024
M2.04	HVAC NEW WORK - LEVEL 1 - AREA D	3/28/2024
M2.05	HVAC NEW WORK - LEVEL 1 - AREA E	3/28/2024

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	DESCRIPTION	DATED
M2.06	HVAC NEW WORK - LEVEL 1 - AREA F	3/28/2024
M2.07	HVAC NEW WORK - LEVEL 1 - AREA G	3/28/2024
M2.08	HVAC NEW WORK - LEVEL 1 - AREA H	3/28/2024
M2.09	HVAC NEW WORK - LEVEL 1 - AREA J	3/28/2024
M2.10	HVAC NEW WORK - MEZZANINE - AREA J	3/28/2024
M2.11	HVAC NEW WORK - LEVEL 1 - AREA K	3/28/2024
M2.12	HVAC NEW WORK - LEVEL 1 - AREA L	3/28/2024
M2.13	HVAC NEW WORK - LEVEL 1 - AREA M	3/28/2024
M2.14	HVAC NEW WORK - LEVEL 1 - AREA N	3/28/2024
M2.15	HVAC NEW WORK - LEVEL 2 - AREA A	3/28/2024
M2.16	HVAC NEW WORK - LEVEL 2 - AREA B	3/28/2024
M2.17	HVAC NEW WORK - LEVEL 2 - AREA C	3/28/2024
M2.18	HVAC NEW WORK - LEVEL 3 - AREA A	3/28/2024
M2.19	HVAC NEW WORK - LEVEL 3 - AREA B	3/28/2024
M2.20	HVAC NEW WORK - LEVEL 3 - AREA C	3/28/2024
M2.21	HVAC NEW WORK - HIGH ROOF - AREA A, B, & C	3/28/2024
M2.22	HVAC NEW WORK - LOW ROOF - AREA D & E	3/28/2024
M2.23	HVAC NEW WORK - LOW ROOF - AREA F, G, & H	3/28/2024
M2.24	HVAC NEW WORK - MID ROOF - AREA J, K, & L	3/28/2024
M2.25	HVAC NEW WORK - MID ROOF - AREA M & N	3/28/2024
M3.01	PIPING NEW WORK - LEVEL 1 - AREA A	3/28/2024
M3.02	PIPING NEW WORK - LEVEL 1 - AREA B	3/28/2024
M3.03	PIPING NEW WORK - LEVEL 1 - AREA C	3/28/2024
M3.04	PIPING NEW WORK - LEVEL 1 - AREA D	3/28/2024
M3.05	PIPING NEW WORK - LEVEL 1 - AREA E	3/28/2024
M3.06	PIPING NEW WORK - LEVEL 1 - AREA F	3/28/2024
M3.07	PIPING NEW WORK - LEVEL 1 - AREA G	3/28/2024
M3.08	PIPING NEW WORK - LEVEL 1 - AREA H	3/28/2024
M3.09	PIPING NEW WORK - LEVEL 1 - AREA J	3/28/2024
M3.10	PIPING NEW WORK - LEVEL 1 - AREA K	3/28/2024
M3.11	PIPING NEW WORK - LEVEL 1 - AREA L	3/28/2024
M3.12	PIPING NEW WORK - LEVEL 1 - AREA M	3/28/2024
M3.13	PIPING NEW WORK - LEVEL 2 - AREA A	3/28/2024
M3.14	PIPING NEW WORK - LEVEL 2 - AREA B	3/28/2024
M3.15	PIPING NEW WORK - LEVEL 2 - AREA C	3/28/2024
M3.16	PIPING NEW WORK - LEVEL 3 - AREA A	3/28/2024
M3.17	PIPING NEW WORK - LEVEL 3 - AREA B	3/28/2024
M3.18	PIPING NEW WORK - LEVEL 3 - AREA C	3/28/2024
M4.01	HVAC DETAILS	3/28/2024
M4.02	HVAC DETAILS	3/28/2024
M4.03	HVAC DETAILS	3/28/2024
M4.05	HVAC LARGE SCALE PLANS	3/28/2024
M5.01	HVAC SCHEDULES	3/28/2024
M5.02	HVAC SCHEDULES	3/28/2024
M6.01	HVAC CONTROLS	3/28/2024
M6.02	HVAC CONTROLS	3/28/2024
M6.03	HVAC CONTROLS	3/28/2024
M6.04	HVAC CONTROLS	3/28/2024
M6.05	HVAC CONTROLS	3/28/2024
<b>PLUMBING</b>		
P0.01	PLUMBING NOTES & SCHEDULES	3/28/2024
P0.02	PLUMBING DETAILS	3/28/2024
P0.03	PLUMBING DETAILS	3/28/2024
P1.00-1	PLUMBING OVERALL DEMOLITION PLAN - LEVEL 1	3/28/2024
P1.01	PLUMBING DEMOLITION PLAN - LEVEL 1 - AREA A	3/28/2024

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	DESCRIPTION	DATED
P1.02	PLUMBING DEMOLITION PLAN - LEVEL 1 - AREA B	3/28/2024
P1.03	PLUMBING DEMOLITION PLAN - LEVEL 1 - AREA C	3/28/2024
P1.04	PLUMBING DEMOLITION PLAN - LEVEL 1 - AREA D	3/28/2024
P1.05	PLUMBING DEMOLITION PLAN - LEVEL 1 - AREA E	3/28/2024
P1.06	PLUMBING DEMOLITION PLAN - LEVEL 1 - AREA F & G	3/28/2024
P1.07	PLUMBING DEMOLITION PLAN - LEVEL 1 - AREA H	3/28/2024
P1.08	PLUMBING DEMOLITION PLAN - LEVEL 1 - AREA J, K & L	3/28/2024
P1.09	PLUMBING DEMOLITION PLAN - ROOF - AREA A, B & C	3/28/2024
P1.10	PLUMBING DEMOLITION PLAN - ROOF - AREA D & E	3/28/2024
P1.11	PLUMBING DEMOLITION PLAN - ROOF - AREA F, G & H	3/28/2024
P1.12	PLUMBING DEMOLITION PLAN - ROOF - AREA J, K & L	3/28/2024
P2.00-1	PLUMBING OVERALL NEW WORK PLAN - LEVEL 1	3/28/2024
P2.01	PLUMBING NEW WORK PLAN - LEVEL 1 - AREA A	3/28/2024
P2.02	PLUMBING NEW WORK PLAN - LEVEL 1 - AREA B	3/28/2024
P2.03	PLUMBING NEW WORK PLAN - LEVEL 1 - AREA B	3/28/2024
P2.04	PLUMBING NEW WORK PLAN - LEVEL 1 - AREA C	3/28/2024
P2.05	PLUMBING NEW WORK PLAN - LEVEL 1 - AREA D	3/28/2024
P2.06	PLUMBING NEW WORK PLAN - LEVEL 1 - AREA E	3/28/2024
P2.07	PLUMBING NEW WORK PLAN - LEVEL 1 - AREA F & G	3/28/2024
P2.08	PLUMBING NEW WORK PLAN - LEVEL 1 - AREA H	3/28/2024
P2.09	PLUMBING NEW WORK PLAN - LEVEL 1 - AREA J, K & L	3/28/2024
P2.10	PLUMBING NEW WORK PLAN - LEVEL 1 - AREA M	3/28/2024
P2.11	PLUMBING NEW WORK PLAN - LEVEL 1 - AREA N	3/28/2024
P2.12	PLUMBING NEW WORK PLAN - LEVEL 2 - AREA A	3/28/2024
P2.13	PLUMBING NEW WORK PLAN - LEVEL 2 - AREA B	3/28/2024
P2.14	PLUMBING NEW WORK PLAN - LEVEL 2 - AREA C	3/28/2024
P2.15	PLUMBING NEW WORK PLAN - LEVEL 3 - AREA A	3/28/2024
P2.16	PLUMBING NEW WORK PLAN - LEVEL 3 - AREA B	3/28/2024
P2.17	PLUMBING NEW WORK PLAN - LEVEL 3 - AREA C	3/28/2024
P2.18	PLUMBING NEW WORK PLAN - ROOF - AREA A, B & C	3/28/2024
P2.19	PLUMBING NEW WORK PLAN - ROOF - AREA D & E	3/28/2024
P2.20	PLUMBING NEW WORK PLAN - ROOF - AREA F, G & H	3/28/2024
P2.21	PLUMBING NEW WORK PLAN - ROOF - AREA M & N	3/28/2024
P3.01	PLUMBING PART PLANS - KITCHEN DRAINAGE	3/28/2024
P3.02	PLUMBING PART PLANS - KITCHEN SUPPLY	3/28/2024
P3.03	PLUMBING PART PLANS - AREA A	3/28/2024
P3.04	PLUMBING PART PLANS - AREA B	3/28/2024
P3.05	PLUMBING PART PLANS - AREA C	3/28/2024
<b>FIRE PROTECTION</b>		
FP0.01	FIRE PROTECTION NOTES & DETAILS	3/28/2024
FP1.00	FIRE PROTECTION OVERALL PLAN	3/28/2024
FP2.01	FIRE PROTECTION NEW WORK PLAN - LEVEL 1 - AREA A, B, D & E	3/28/2024
FP2.02	FIRE PROTECTION NEW WORK PLAN - LEVEL 1 - AREA J, K & L	3/28/2024
FP2.03	FIRE PROTECTION NEW WORK PLAN - LEVEL 1 - AREA C, F, G & H	3/28/2024
FP2.04	FIRE PROTECTION NEW WORK PLAN - LEVEL 1 - AREA M & N	3/28/2024
FP2.11	FIRE PROTECTION NEW WORK PLAN - LEVEL 2 - AREA A, B & C	3/28/2024
FP2.12	FIRE PROTECTION NEW WORK PLAN - LEVEL 3 - AREA A, B & C	3/28/2024
<b>ELECTRICAL</b>		
E1.00	ELECTRICAL LEGEND, NOTES, SCHEDULES AND DETAILS	3/28/2024
E3.11A	ELECTRICAL LIGHTING PLAN – LEVEL 1 – NEW ADDITION SOUTH	3/28/2024
E3.11B	ELECTRICAL LIGHTING PLAN – LEVEL 1 – NEW ADDITION SOUTH	3/28/2024
E3.11C	ELECTRICAL LIGHTING PLAN – LEVEL 1 – NEW ADDITION NORTH	3/28/2024
E3.11D	ELECTRICAL LIGHTING PLAN – LEVEL 1 – 100 WING	3/28/2024
E3.11E	ELECTRICAL LIGHTING PLAN – LEVEL 1 – 200 WING	3/28/2024
E3.11F	ELECTRICAL LIGHTING PLAN – LEVEL 1 – 300/400 WING	3/28/2024

## List of Drawings, Specifications, and Addenda

	DESCRIPTION	DATED
E3.11H	ELECTRICAL LIGHTING PLAN – LEVEL 1 – CTAE WING	3/28/2024
E3.11J	ELECTRICAL LIGHTING PLAN – LEVEL 1 – GYMNASIUM	3/28/2024
E3.11K	ELECTRICAL LIGHTING PLAN – LEVEL 1 – GYMNASIUM	3/28/2024
E3.11M	ELECTRICAL LIGHTING PLAN – LEVEL 1 – MUSIC SUITE	3/28/2024
E3.11N	ELECTRICAL LIGHTING PLAN – LEVEL 1 – AUDITORIUM	3/28/2024
E3.12A	ELECTRICAL LIGHTING PLAN – LEVEL 2 – NEW ADDITION SOUTH	3/28/2024
E3.12B	ELECTRICAL LIGHTING PLAN – LEVEL 2 – NEW ADDITION SOUTH	3/28/2024
E3.13A	ELECTRICAL LIGHTING PLAN – LEVEL 3 – NEW ADDITION SOUTH	3/28/2024
E3.13B	ELECTRICAL LIGHTING PLAN – LEVEL 3 – NEW ADDITION SOUTH	3/28/2024
E3.21	ELECTRICAL ENLARGED LIGHTING PLANS	3/28/2024
E4.11A	ELECTRICAL POWER PLAN – LEVEL 1 – NEW ADDITION SOUTH	3/28/2024
E4.11B	ELECTRICAL POWER PLAN – LEVEL 1 – NEW ADDITION SOUTH	3/28/2024
E4.11C	ELECTRICAL POWER PLAN – LEVEL 1 – NEW ADDITION NORTH	3/28/2024
E4.11D	ELECTRICAL POWER PLAN – LEVEL 1 – 100 WING	3/28/2024
E4.11E	ELECTRICAL POWER PLAN – LEVEL 1 – 200 WING	3/28/2024
E4.11F	ELECTRICAL POWER PLAN – LEVEL 1 – 300/400 WING	3/28/2024
E4.11H	ELECTRICAL POWER PLAN – LEVEL 1 – CTAE WING	3/28/2024
E4.11J	ELECTRICAL POWER PLAN – LEVEL 1 – GYMNASIUM	3/28/2024
E4.11K	ELECTRICAL POWER PLAN – LEVEL 1 – GYMNASIUM	3/28/2024
E4.11M	ELECTRICAL POWER PLAN – LEVEL 1 – MUSIC SUITE	3/28/2024
E4.11N	ELECTRICAL POWER PLAN – LEVEL 1 – AUDITORIUM	3/28/2024
E4.12A	ELECTRICAL POWER PLAN – LEVEL 2 – NEW ADDITION SOUTH	3/28/2024
E4.12B	ELECTRICAL POWER PLAN – LEVEL 2 – NEW ADDITION SOUTH	3/28/2024
E4.13A	ELECTRICAL POWER PLAN – LEVEL 3 – NEW ADDITION SOUTH	3/28/2024
E4.13B	ELECTRICAL POWER PLAN – LEVEL 3 – NEW ADDITION SOUTH	3/28/2024
E5.11A	ELECTRICAL HVAC/PLUMB PLAN – LEVEL 1 – NEW ADDITION SOUTH	3/28/2024
E5.11B	ELECTRICAL HVAC/PLUMB PLAN – LEVEL 1 – NEW ADDITION SOUTH	3/28/2024
E5.11C	ELECTRICAL HVAC/PLUMB PLAN – LEVEL 1 – NEW ADDITION NORTH	3/28/2024
E5.11D	ELECTRICAL HVAC/PLUMB PLAN – LEVEL 1 – 100 WING	3/28/2024
E5.11E	ELECTRICAL HVAC/PLUMB PLAN – LEVEL 1 – 200 WING	3/28/2024
E5.11F	ELECTRICAL HVAC/PLUMB PLAN – LEVEL 1 – 300/400 WING	3/28/2024
E5.11H	ELECTRICAL HVAC/PLUMB PLAN – LEVEL 1 – CTAE WING	3/28/2024
E5.11J	ELECTRICAL HVAC/PLUMB PLAN – LEVEL 1 – GYMNASIUM	3/28/2024
E5.11K	ELECTRICAL HVAC/PLUMB PLAN – LEVEL 1 – GYMNASIUM	3/28/2024
E5.11M	ELECTRICAL HVAC/PLUMB PLAN – LEVEL 1 – MUSIC SUITE	3/28/2024
E5.11N	ELECTRICAL HVAC/PLUMB PLAN – LEVEL 1 – AUDITORIUM	3/28/2024
E5.12A	ELECTRICAL HVAC/PLUMB PLAN – LEVEL 2 – NEW ADDITION SOUTH	3/28/2024
E5.12B	ELECTRICAL HVAC/PLUMB PLAN – LEVEL 2 – NEW ADDITION SOUTH	3/28/2024
E5.13A	ELECTRICAL HVAC/PLUMB PLAN – LEVEL 3 – NEW ADDITION SOUTH	3/28/2024
E5.13B	ELECTRICAL HVAC/PLUMB PLAN – LEVEL 3 – NEW ADDITION SOUTH	3/28/2024
E6.11A	ELECTRICAL LOW VOLTAGE PLAN – LEVEL 1 – NEW ADDITION SOUTH	3/28/2024
E6.11B	ELECTRICAL LOW VOLTAGE PLAN – LEVEL 1 – NEW ADDITION SOUTH	3/28/2024
E6.11C	ELECTRICAL LOW VOLTAGE PLAN – LEVEL 1 – NEW ADDITION NORTH	3/28/2024
E6.11D	ELECTRICAL LOW VOLTAGE PLAN – LEVEL 1 – 100 WING	3/28/2024
E6.11E	ELECTRICAL LOW VOLTAGE PLAN – LEVEL 1 – 200 WING	3/28/2024
E6.11F	ELECTRICAL LOW VOLTAGE PLAN – LEVEL 1 – 300/400 WING	3/28/2024
E6.11H	ELECTRICAL LOW VOLTAGE PLAN – LEVEL 1 – CTAE WING	3/28/2024
E6.11J	ELECTRICAL LOW VOLTAGE PLAN – LEVEL 1 – GYMNASIUM	3/28/2024
E6.11K	ELECTRICAL LOW VOLTAGE PLAN – LEVEL 1 – GYMNASIUM	3/28/2024
E6.11M	ELECTRICAL LOW VOLTAGE PLAN – LEVEL 1 – MUSIC SUITE	3/28/2024
E6.11N	ELECTRICAL LOW VOLTAGE PLAN – LEVEL 1 – AUDITORIUM	3/28/2024
E6.12A	ELECTRICAL LOW VOLTAGE PLAN – LEVEL 2 – NEW ADDITION SOUTH	3/28/2024
E6.12B	ELECTRICAL LOW VOLTAGE PLAN – LEVEL 2 – NEW ADDITION SOUTH	3/28/2024
E6.13A	ELECTRICAL LOW VOLTAGE PLAN – LEVEL 3 – NEW ADDITION SOUTH	3/28/2024
E6.13B	ELECTRICAL LOW VOLTAGE PLAN – LEVEL 3 – NEW ADDITION SOUTH	3/28/2024

List of Drawings, Specifications, and Addenda

	DESCRIPTION	DATED
<b>SPECIFICATIONS</b>		
	GA DOE Preliminary Review Narrative prepared by Cooper Carry dated November 17, 2023	



Cross Keys High School  
Attachment 1 - Allowances Log

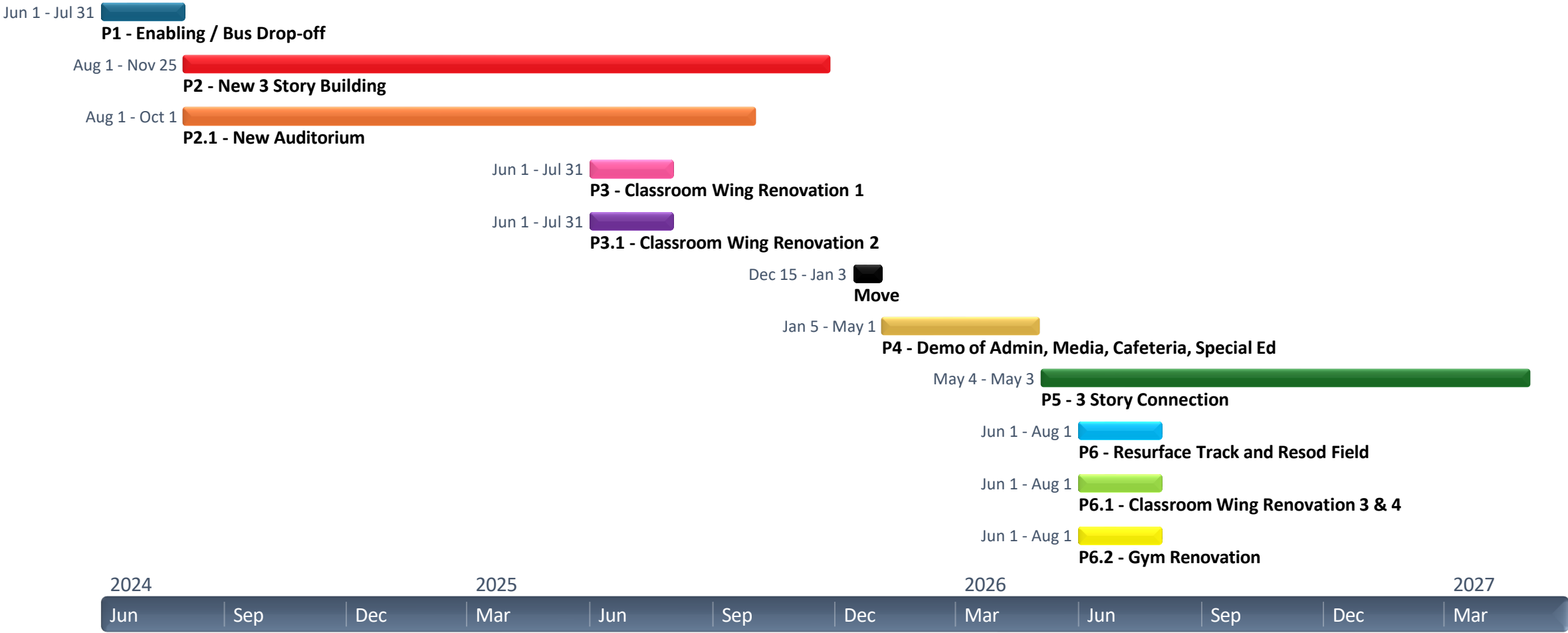
4/8/2024

	<u>Value</u>
1 Utilities Demolition	\$ 200,000.00
2 Storm Sewer Replacement	\$ 1,500,000.00
3 Underground Detention System	\$ 1,500,000.00
4 Roof Leaders	\$ 150,000.00
5 Sanitary Sewer	\$ 450,000.00
6 Water & Fire	\$ 450,000.00
7 Rock & Unsuitable Soils	\$ 1,000,000.00
8 Striping & Signage	\$ 15,000.00
9 Plumbing Underground for Classroom Addition	\$ 731,368.00
10 HVAC Equipment for Classroom Addition	\$ 2,354,785.00
11 Electrical Underground and Switchgear for Classroom Addition	\$ 1,801,007.00
12 Modular Classrooms	\$ 1,275,600.00
13 Plumbing Underground for Performing Arts Addition	\$ 173,279.00
14 HVAC Equipment for Performing Arts Addition	\$ 624,644.00
15 Electrical Underground and Switchgear for Performing Arts Addition	\$ 480,040.00

Cross Keys High School  
Enabling, Sitework, and Initial Structure GMP  
Attachment 2 – Assumptions and Clarifications  
April 8, 2024

1. General
  - 1.1 The Enabling, Sitework, and Initial Structure GMP is based on the Design Development documents dated March 28, 2024 by Cooper Carry.
  - 1.2 The Enabling, Sitework, and Initial Structure GMP includes estimated monies for the following work: grading and utilities, asphalt paving, curb & gutter, site retaining walls, concrete paving and sidewalks, classroom addition concrete, CMU, and structural steel, below grade waterproofing, hollow metal door frames, food service equipment, plumbing underground rough-in, HVAC equipment, electrical underground rough-in, bus drop-off canopy, performing arts addition concrete, CMU, and structural steel, below grade waterproofing, hollow metal door frames, food service equipment, plumbing underground rough-in, HVAC equipment, electrical underground rough-in, and temporary modular classrooms.
  - 1.3 A construction contingency of 5% is included.
  - 1.4 A design contingency of 5% is included.
  - 1.5 We have not included builders risk insurance for the existing school.
  - 1.6 We have not included any costs for building permit fees, water meter and tap fees or impact fees.
  - 1.7 The Structure GMP does not include the following:
    - a) Building permit fees
    - b) NPDES filing fees
    - c) Tree Survey
    - d) Water meter and tap fees
    - e) Impact fees
    - f) Testing & inspection including NPDES monitoring
    - g) Landscaping
    - h) Fencing
    - i) Athletic Field Improvements
    - j) Demolition of the existing school
    - k) Asbestos abatement or other hazardous remediation

# Attachment 3 - Cross Keys High School Addition and Modernization Schedule



2027



**COOPER CARRY**  
 THE CENTER FOR CONNECTIVE ARCHITECTURE  
 191 Peachtree Street NE  
 Suite 2400  
 Atlanta, GA 30303-1770  
 (404) 237-2000  
 coopercarry.com

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**SCOPE DOCUMENTS**  
 The Contract Documents issued for [Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issued for Construction] are intended to be at that level of development and as such, may be neither complete nor coordinated. The [Construction Manager, Contractor, Design/Builder] is responsible for complete and coordinated pricing (and execution) of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of delegated designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The [Construction Manager, Contractor, Design/Builder] shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

ISSUANCES		
No.	Drawing Issue Description	Date
1	SCHEMATIC DESIGN	10/31/2023
2	GA CODE PRELIMINARY PLANS	11/17/2023
3	DESIGN DEVELOPMENT	03/28/2024

**GENERAL NOTES - SITE PLAN**

- A. REFER TO CIVIL DRAWINGS FOR LIMITS OF CONSTRUCTION.
- B. REFER TO CIVIL DRAWINGS FOR SITE DEMOLITION, GRADING & DRAINAGE, PAVING DIMENSIONS, UTILITY EXTENSIONS AND CONNECTIONS.
- C. REFER TO LANDSCAPE ARCHITECTURAL DRAWINGS FOR GROUND COVER, PLANTING AND IRRIGATION.
- D. REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR AND SITE LIGHTING.

**KEYED NOTES - SITE PLAN**

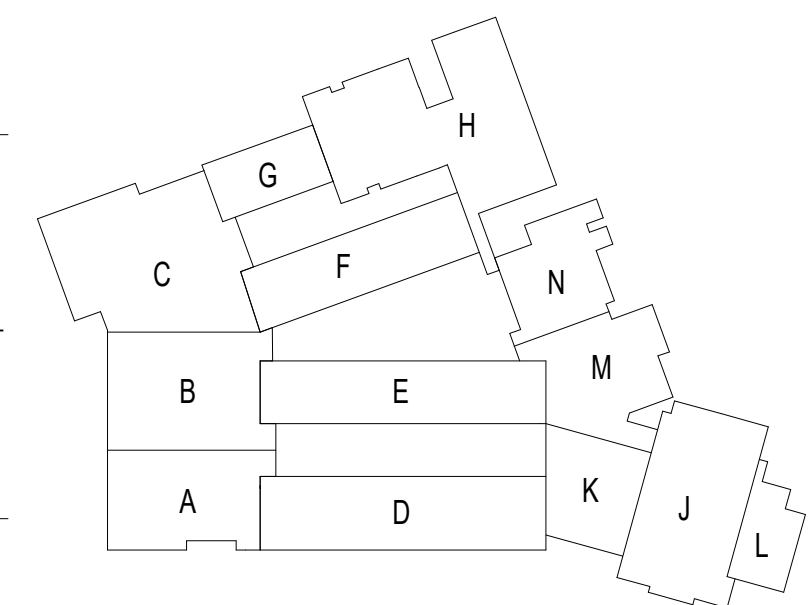
- 1 NEW ASPHALT BUS DROP-OFF; REFER TO CIVIL DRAWINGS.
- 2 NEW ASPHALT PARENT DROP-OFF; REFER TO CIVIL DRAWINGS.
- 3 NEW SITE RETAINING WALL; REFER TO CIVIL AND STRUCTURAL DRAWINGS.
- 4 NEW ASPHALT PARKING LOT; REFER TO CIVIL DRAWINGS.
- 5 EXISTING COURTYARDS TO BE REMODELED; REFER TO CIVIL AND LANDSCAPE DRAWINGS.
- 6 EXISTING TRACK AND FIELD TO BE RESURFACED; REFER TO CIVIL AND LANDSCAPE DRAWINGS.
- 7 NEW TURF PRACTICE FIELD; REFER TO CIVIL AND LANDSCAPE DRAWINGS.
- 8 NEW CONCRETE JROTC PRACTICE PAD; REFER TO CIVIL DRAWINGS.
- 9 NEW CONCRETE TENNIS COURTS; REFER TO CIVIL DRAWINGS.
- 10 NEW ASPHALT SERVICE DRIVE AND TURN-AROUND; REFER TO CIVIL DRAWINGS.
- 11 NEW UNDERGROUND STORMWATER DENTENTION SYSTEM; REFER TO CIVIL DRAWINGS.
- 12 NEW PREFABRICATED ALUMINUM CANOPY; REFER TO STRUCTURAL DRAWINGS.

**LEGEND**

- EXISTING BUILDING TO REMAIN
- NEW BUILDING ADDITION

**GROSS BUILDING AREAS**

Name	Area
100 WING	20,347 SF
200 WING	19,239 SF
300 WING	16,311 SF
400 WING	7,591 SF
CTAE WING	32,281 SF
GYMNASIUM	41,546 SF
EXISTING/RENOVATION	137,316 SF
AUDITORIUM & MUSIC SUITES	33,759 SF
LEVEL 1	64,729 SF
LEVEL 2	20,709 SF
LEVEL 3	28,330 SF
NEW CONSTRUCTION	147,527 SF
TOTAL GROSS BUILDING AREA	284,843 SF



**CROSS KEYS HIGH SCHOOL**

Facility Code: 644-054-1165.01  
 DCSD Project Number: 214.35  
 EXISTING FTE: 1776 PROPOSED FTE: 1400  
 EXISTING IUs: 64 PROPOSED IUs: 74  
 EXISTING AREA: 167,167 GSF PROPOSED AREA: 283,664 GSF

1626 NORTH DRUID HILLS ROAD  
 ATLANTA, GA 30319

DEKALB CO. SCHOOL DISTRICT  
**ARCHITECTURAL SITE PLAN**

SOPHIA TARKHAN Principal-in-Charge	20220185 Project No.
Project Designer	03/28/2024 Date
CHRISSEY PEREZ Project Architect	
JOHN BITTINGER Architect	<b>A1.00</b>
JENNY PARK Staff Architect / Designer	
EVONNE CONNALLY Staff Interior Architect	

1 ARCHITECTURAL SITE PLAN  
 A1.00 SCALE: 1" = 50'-0"

PROJECT NUMBER: 20220185 PROJECT NAME: CROSS KEYS HIGH SCHOOL  
 SHEET NUMBER: A1.00 ARCHITECTURAL SITE PLAN  
 Autodesk Docs/20220185 - Cross Keys High School/20220185\_2023\_CKHS\_arch.rvt  
 3/28/2024 10:22:26 AM

NOT ISSUED FOR CONSTRUCTION



**Dekalb County Schools**  
**Cross Keys High School Modernization**  
**Initial GMP Summary**

**4/8/2024**

<i>Summary Sheet</i>	<i>Total \$</i>
1 Sitework Subtotal	\$ 10,861,737
2 Athletics Subtotal	\$ -
3 3 Story Addition Subtotal	\$ 24,648,548
4 Performing Arts Subtotal	\$ 7,248,859
5 Gym Renovation Subtotal	\$ -
6 Classroom Renovation Subtotal	\$ 127,688
7 CTAE Renovation Subtotal	\$ -
8 Modular Classrooms	\$ 1,532,244
	<b>PROJECT TOTAL \$ 44,419,077</b>



**Dekalb County Schools**  
**Cross Keys High School Modernization**  
**Sitework Estimate**

4/8/2024

Trade	Quantity	UM	Unit \$	Total \$	\$/SqFt
<b>Demolition</b>					
Curb & Gutter	2,338	LF	\$ 10.00	\$ 23,380.00	
Asphalt Paving	28,251	SF	\$ 3.00	\$ 84,753.00	
Sidewalks	35,060	SF	\$ 3.00	\$ 105,180.00	
Utilities	1	ALLW	\$ 200,000.00	\$ 200,000.00	
Retaining Walls	123	LF	\$ 150.00	\$ 18,450.00	
Tennis Courts	12,362	SF	\$ 3.00	\$ 37,086.00	
Fencing	770	LF	\$ 10.00	\$ 7,700.00	
Modulars	12	EA	\$ 15,000.00	\$ 180,000.00	
Miscellaneous	1	LS	\$ 250,000.00	\$ 250,000.00	
<b>Grading</b>					
Erosion & Sedimentation Control	12	Acres	\$ 13,045.66	\$ 150,025.09	
Clearing	1.54	Acres	\$ 20,000.00	\$ 30,800.00	
Sidewalks	13,668	SF	\$ 3.00	\$ 41,004.00	
Mass Grading				Included	
Strip Topsoil	2,930	CY	\$ 14.00	\$ 41,020.00	
Export Excess	1,953	CY	\$ 35.00	\$ 68,366.67	
Cut Fill	18,553	CY	\$ 10.00	\$ 185,533.33	
Fine Grade	288,746	SF	\$ 1.25	\$ 360,932.50	
Respread Topsoil	977	CY	\$ 10.00	\$ 9,766.67	
Backfill Foundation Walls / Retaining Walls	1,738	CY	\$ 55.00	\$ 95,608.33	
Import	1,245	CY	\$ 35.00	\$ 43,586.67	
Storm Sewer	1	ALLW	\$ 1,500,000.00	\$ 1,500,000.00	
Underground Detention System	1	ALLW	\$ 1,500,000.00	\$ 1,500,000.00	
Roof Leaders	1	ALLW	\$ 150,000.00	\$ 150,000.00	
Sanitary Sewer	1	ALLW	\$ 450,000.00	\$ 450,000.00	
Water & Fire	1	ALLW	\$ 450,000.00	\$ 450,000.00	
Water Meter				By Owner	
Tap Fees				By Owner	
Impact Fees				By Owner	
Rock & Unsuitable Soils	1	ALLW	\$ 1,000,000.00	\$ 1,000,000.00	
NPDES Monitoring	39	Mos	\$ 500.00	\$ 19,500.00	
<b>Asphalt Paving</b>					
Light Duty	6,937	SY	\$ 45.00	\$ 312,165.00	
Heavy Duty	1,991	SY	\$ 55.00	\$ 109,505.00	
Sealcoat Existing	4,049	SY	\$ 4.00	\$ 16,196.00	
<b>Curb &amp; Gutter</b>					
Curb & Gutter	5,559	LF	\$ 22.00	\$ 122,298.00	
Roll Curb	35	LF	\$ 22.00	\$ 770.00	
<b>Fences &amp; Gates (Partial Fencing Allowance)</b>					
Gates	1,115	LF	\$ 60.00	\$ 30,000.00	
				Included	
<b>Hardscapes</b>					
Concrete Paving	14,880	SF	\$ 20.00	\$ 297,600.00	
Sidewalks	22,580	SF	\$ 3.00	\$ 67,740.00	
Auditorium Sidewalk	9,615	SF	\$ 5.00	\$ 48,075.00	
HC Ramps	5	EA	\$ 1,000.00	\$ 5,000.00	



**Dekalb County Schools  
 Cross Keys High School Modernization  
 Sitework Estimate**

4/8/2024

Trade	Quantity	UM	Unit \$	Total \$	\$/SqFt
HD Conc. Loading Dock Paving	4,265	SF	\$ 18.50	\$ 78,902.50	
Loading Dock & Ramp	1,110	SF	\$ 18.50	\$ 20,535.00	
Site Stairs	993	LF	\$ 85.00	\$ 84,405.00	
JROTC Practice Pad	6,335	SF	\$ 8.00	\$ 50,680.00	
Concrete Site Retaining Walls	7,554	SF	\$ 75.00	\$ 566,550.00	
Pavement Striping & Signage (Bus Loop and Street Parking)	322	Spaces	\$ 144.00	\$ 15,000.00	
<b>Sitework Total</b>				\$ 8,828,113.76	
General Conditions				\$ 305,941.00	
General Requirements				\$ 37,982.00	
Builders Risk Insurance				\$ 12,712.48	
Liability Insurance				\$ 15,531.08	
Subcontractor Default Insurance				\$ 132,421.71	
Payment & Performance Bonds				\$ 72,545.11	
Construction Manager's Fee				\$ 371,294.12	
<b>Total</b>				\$ 9,776,541.25	
Contingency					
Design (5%)				\$ 488,827.06	
Construction (5%)				\$ 488,827.06	
<b>Subtotal</b>				\$ 10,754,195.38	
Escalation (1%)				\$ 107,541.95	
<b>Total</b>				\$ 10,861,737.33	



**Dekalb County Schools**  
**Cross Keys High School Modernization**  
**3 Story Addition Estimate**

4/8/2024

Trade	Quantity	UM	Unit \$	Total \$	\$/SqFt
Subsoil Termite Treatment	68,035	SF	\$ 0.05	\$ 3,401.75	\$ 0.03
Concrete Foundations & SOG	68,035	SF	\$ 25.00	\$ 1,700,875.00	\$ 13.81
Foundation Wall	6,906	SF	\$ 55.00	\$ 379,830.00	\$ 3.08
Elevated SOD	53,105	SF	\$ 13.09	\$ 695,144.45	\$ 5.65
Masonry					
CMU Walls	142,974	SF	\$ 17.54	\$ 2,507,763.96	\$ 20.37
Structural & Misc. Metals	603	Tons	\$ 7,953.00	\$ 4,793,790.05	\$ 38.93
Joist & Deck	108	Tons	\$ 7,871.00	\$ 848,084.51	\$ 6.89
AESS	63	Tons	\$ 11,929.50	\$ 752,751.45	\$ 6.11
Stairs & Rails	7	Flights	\$ 30,000.00	\$ 210,000.00	\$ 1.71
Lobby Stair Premium	1	LS	\$ 35,700.00	\$ 35,700.00	\$ 0.29
Guardrails at Retaining Walls	719	LF	\$ 300.00	\$ 215,700.00	\$ 1.75
Waterproofing, Dampproofing, and Caulking					
Waterproofing					
Elevator Pit	1	EA	\$ 2,500.00	\$ 2,500.00	\$ 0.02
Foundation Wall	6,906	SF	\$ 7.50	\$ 51,795.00	\$ 0.42
Doors, Frames, & Finish Hardware (Long Lead Items)	148	LVS	\$ 3,392.00	\$ 125,504.00	\$ 1.02
Parent Drop Off Canopy	1,069	SF	\$ 59.00	\$ 63,071.00	\$ 0.51
Food Service Equipment	1	LS	\$ 1,250,000.00	\$ 1,250,000.00	\$ 10.15
Plumbing (Underground Allowance)	123,126	SF	\$ 18.00	\$ 731,368.44	\$ 5.94
HVAC (Equipment Allowance)	123,126	SF	\$ 38.25	\$ 2,354,784.75	\$ 19.13
Test & Balance				Included	
Controls				Included	
Electrical (Underground & Switchgear Allowance)	123,126	SF	\$ 44.33	\$ 1,801,006.97	\$ 14.63
<b>3 Story Addition Total</b>				\$ 18,523,071.33	\$ 150.44
General Conditions				\$ 1,962,381.00	\$ 15.94
General Requirements				\$ 312,431.00	\$ 2.54
Builders Risk Insurance				\$ 26,673.22	\$ 0.22
Liability Insurance				\$ 31,488.98	\$ 0.26
Subcontractor Default Insurance				\$ 277,846.07	\$ 2.26
Payment & Performance Bonds				\$ 124,042.02	\$ 1.01
Construction Manager's Fee				\$ 710,469.41	\$ 5.77
<b>Total</b>				\$ 21,968,403.02	\$ 178.42
Contingency					
Design (5%)				\$ 1,098,420.15	\$ 8.92
Construction (5%)				\$ 1,098,420.15	\$ 8.92
<b>Subtotal</b>				\$ 24,165,243.32	\$ 196.26



**Dekalb County Schools**  
**Cross Keys High School Modernization**  
**3 Story Addition Estimate**

4/8/2024

<b>Trade</b>	<b>Quantity UM</b>	<b>Unit \$</b>	<b>Total \$</b>	<b>\$/SqFt</b>
Escalation (2%)		\$	483,304.87	\$ 3.93
<b>Total</b>		\$	24,648,548.18	\$ 200.19



**Dekalb County Schools**  
**Cross Keys High School Modernization**  
**Performing Arts Estimate**

4/8/2024

Trade	Quantity	UM	Unit \$	Total \$	\$/SqFt
Subsoil Termite Treatment	36,921	SF	\$ 0.05	\$ 1,846.05	\$ 0.06
Concrete Foundations & SOG	36,921	SF	\$ 25.00	\$ 923,025.00	\$ 28.13
Masonry					
CMU Walls	53,966	SF	\$ 17.54	\$ 946,563.64	\$ 28.84
Structural & Misc. Metals	112	Tons	\$ 7,953.00	\$ 890,736.00	\$ 27.14
Joist & Deck	82	Tons	\$ 7,871.00	\$ 645,422.00	\$ 19.67
AESS	20	Tons	\$ 11,929.50	\$ 244,256.51	\$ 7.44
Doors, Frames, & Finish Hardware (Long Lead Items)	21	LVS	\$ 3,392.00	\$ 23,506.56	\$ 0.72
Plumbing (Underground Allowance)	32,818	SF	\$ 16.00	\$ 173,279.04	\$ 5.28
HVAC (Equipment Allowance)	32,818	SF	\$ 38.25	\$ 627,644.25	\$ 19.13
Test & Balance				Included	
Controls				Included	
Electrical (Underground & Switchgear Allowance)	32,818	SF	\$ 44.33	\$ 480,040.34	\$ 14.63
<b>Performing Arts Total</b>				\$ 4,956,319.39	\$ 151.02
General Conditions				\$ 1,161,959.00	\$ 35.41
General Requirements				\$ 109,239.00	\$ 3.33
Builders Risk Insurance				\$ 7,137.10	\$ 0.22
Liability Insurance				\$ 9,158.10	\$ 0.28
Subcontractor Default Insurance				\$ 74,344.79	\$ 2.27
Payment & Performance Bonds				\$ 46,823.13	\$ 1.43
Construction Manager's Fee				\$ 159,644.62	\$ 4.86
<b>Total</b>				\$ 6,524,625.13	\$ 198.81
Contingency				\$ -	
Design (5%)				\$ 326,231.26	\$ 9.94
Construction (5%)				\$ 326,231.26	\$ 9.94
<b>Subtotal</b>				\$ 7,177,087.65	\$ 218.69
Escalation (1%)				\$ 71,770.88	\$ 2.19
<b>Total</b>				\$ 7,248,858.52	\$ 220.88



Dekalb County Schools  
 Cross Keys High School Modernization  
 Classroom Renovation Estimate

4/8/2024

Trade	Quantity	UM	Unit \$	Total \$	\$/SqFt
Bus Loop Canopy	1,796	SF	\$ 59.00	\$ 105,964.00	\$ 1.71
<b>Classroom Renovation Total</b>				\$ 105,964.00	\$ 1.71
General Conditions (None Included)				\$ -	
General Requirements (None Included)				\$ -	
Builders Risk Insurance			\$	152.59	\$ 0.00
Liability Insurance			\$	1,174.42	\$ 0.02
Subcontractor Default Insurance			\$	1,589.46	\$ 0.03
Payment & Performance Bonds			\$	14,838.44	\$ 0.24
Construction Manager's Fee			\$	3,969.41	\$ 0.06
<b>Total</b>			\$	127,688.32	\$ 2.06
<b>Contingency</b>					
Design (5%) (None Included)				\$ -	
Construction (5%) (None Included)				\$ -	
<b>Subtotal</b>			\$	127,688.32	\$ 2.06
Escalation (5%) (None Included)				\$ -	
<b>Total</b>			\$	127,688.32	\$ 2.06



**Dekalb County Schools**  
**Cross Keys High School Modernization**  
**Modulars Estimate**

4/8/2024

Trade	Quantity	UM	Unit \$	Total \$	\$/SqFt
<b>Modulars</b>					
Setup	3	EA	\$ 288,400.00	\$ 865,200.00	
Rental	24	Mos	\$ 17,100.00	\$ 410,400.00	
<b>Sitework Total</b>				\$ 1,275,600.00	
General Conditions				\$ -	
General Requirements				\$ -	
Builders Risk Insurance				\$ 1,836.86	
Liability Insurance				\$ 3,099.64	
Subcontractor Default Insurance				\$ 19,134.00	
Payment & Performance Bonds				\$ 24,260.16	
Construction Manager's Fee				\$ 55,227.12	
<b>Total</b>				\$ 1,379,157.78	
<b>Contingency</b>					
Design (5%)				\$ 68,957.89	
Construction (5%)				\$ 68,957.89	
<b>Subtotal</b>				\$ 1,517,073.56	
Escalation (1%)				\$ 15,170.74	
<b>Total</b>				\$ 1,532,244.29	



Cross Keys High School

4/8/2024

Sitework

General Conditions Estimate

	Qty	Unit	Labor	Labor Burden	Material	Equipment	Sub	Total
Project Team	1	LS	\$ 147,306	\$ 54,358				\$ 201,664
Assistant Project Manager (100%)	30	Weeks						\$ -
Project Engineer (100%)	12	Weeks						\$ -
Project Engineer (100%)	12	Weeks						\$ -
Project Coordinator (100%)	12	Weeks						\$ -
Assistant Superintendent (100%)	18	Weeks						\$ -
Assistant Superintendent (100%)	13	Weeks						\$ -
Purchasing Agent (100%)	5	Weeks	\$ 1,920	\$ 709				\$ 13,143
Project Secretary (100%)	12	Weeks	\$ 720	\$ 266				\$ 11,828
Project Accountant (100%)	12	Weeks	\$ 1,750	\$ 646				\$ 28,749
Supervision Vehicles	-	Months			\$ 1,866			\$ -
Superintendent Vehicle Fuel & Repair	-	Months			\$ 2,500			\$ -
Superintendent Vehicle Insurance	-	Months			\$ 385			\$ -
Safety Program & Inspections	1	LS			\$ 7,500			\$ 7,500
Safety Signage	1	LS	\$ 4,000	\$ 1,500	\$ 6,500			\$ 12,000
Drug Testing	1	LS			\$ 1,060			\$ 1,060
Hard Hats & Safety Vests	1	LS			\$ 2,650			\$ 2,650
Raingear & Boots	1	LS			\$ 636			\$ 636
Eye & Ear Protection	1	LS			\$ 106			\$ 106
Safety Harnesses and Lifelines	1	LS			\$ 1,605			\$ 1,605
First Aid Supplies	-	Months			\$ 100			\$ -
Office Trailer Rental	-	Months			\$ 2,250			\$ -
Tool Trailer Rental	-	Months			\$ 250			\$ -
Office Equipment	-	LS			\$ 5,000			\$ -
Computer Equipment	-	LS			\$ 10,000			\$ -
Project Software - Procore	-	Months			\$ 116,500			\$ -
Office Supplies & Postage	-	Months			\$ 250			\$ -
Office Furniture	-	LS			\$ 5,000			\$ -
Drawings & Printing	-	LS			\$ 10,000			\$ -
CAD Files	-	LS			\$ 5,000			\$ -
Web Cam - OxBlue	-	Months			\$ 815			\$ -
Daily Photos - Cupix	-	Months			\$ 755			\$ -
Aerial Photograghy	-	Months			\$ 105			\$ -
Closeout Documents & As-Builts	-	LS			\$ 3,500			\$ -
Traffic Control/Flagman	-	Weeks	\$ 1,375	\$ 507				\$ -
Setup Field Office	-	LS	\$ 1,580	\$ 583	\$ 1,070			\$ -



Cross Keys High School

4/8/2024

Sitework

General Conditions Estimate

	Qty	Unit	Labor	Labor Burden	Material	Equipment	Sub	Total
Remove Field Office	-	LS	\$ 1,050	\$ 387	\$ 1,070			\$ -
Setup Tool Trailer	-	LS	\$ 500	\$ 185	\$ 852			\$ -
Remove Tool Trailer	-	LS	\$ 250	\$ 92				\$ -
Project Signs	-	LS	\$ 200	\$ 74	\$ 535			\$ -
Radios	-	LS	\$ 2,500	\$ 923	\$ 4,770			\$ -
Temp/Permanent Power & Gas	-	Months			\$ 4,825			\$ -
Temporary Power	-	Months			\$ 648			\$ -
Temporary Power Setup (Georgia Power)	-	LS			\$ 25,000			\$ -
Temporary Heat	-	Months			\$ 4,253			\$ -
Temporary Water	-	Months			\$ 343			\$ -
Holding Tank	-	Months			\$ 300			\$ -
Temporary Toilets	-	Months			\$ 962			\$ -
Sanitary Supplies	-	Months			\$ 159			\$ -
Ice, Cups, and Water	-	Months			\$ 159			\$ -
Telecom System & Installation (Internet)	-	LS			\$ 650			\$ -
Telecom Service (Internet & Cell Phones)	-	Months					\$ 1,274	\$ -
Barricades	1	LS			\$ 25,000			\$ 25,000
Protect New Work	1	LS			\$ -			\$ -
Ceremonies	1	LS			\$ -			\$ -
<b>TOTAL</b>								<b>\$ 305,941</b>



Cross Keys High School

4/8/2024

Sitework

General Requirments Estimate

	Qty	Unit	Labor	Labor Burden	Material	Equipment	Sub	Total
Fire Extinguishers	-	EA			\$ 100			\$ -
Temporary Fence	2,109	LF	\$ 5	\$ 2	\$ 6.24			\$ 27,596
Continuous Cleanup	-	Weeks	\$ 1,862	\$ 687				\$ -
Dump Fees	18	Pulls					\$ 577	\$ 10,386
Street Sweeper	-	Months				\$ 1,610		\$ -
Skid Steer	-	Months				\$ 2,862		\$ -
Equipment Rental	-	Months				\$ 2,100		\$ -
Fuel & Lubricant	-	Months				\$ 250		\$ -
Small Tools	-	Months				\$ 1,000		\$ -
		SF					\$ 0.35	\$ -
<b>TOTAL</b>								<b>\$ 37,982</b>



**Cross Keys High School  
Three Story Classroom Addition  
General Conditions Estimate**

4/8/2024

	Qty	Unit	Labor	Labor Burden	Material	Equipment	Sub	Total
Project Team	1	LS	\$ 869,882	\$ 321,000				\$ 1,190,882
Senior Project Manager (100%)	39	Weeks						\$ -
Project Manager (100%)	39	Weeks						\$ -
Assistant Project Manager (100%)	39	Weeks						\$ -
Assistant Project Manager (100%)	39	Weeks						\$ -
Project Engineer (100%)	39	Weeks						\$ -
Project Coordinator (100%)	39	Weeks						\$ -
Project Coordinator (100%)	39	Weeks						\$ -
General Superintendent (25%)	39	Weeks						\$ -
Project Superintendent (100%)	39	Weeks						\$ -
Assistant Superintendent (100%)	39	Weeks						\$ -
Assistant Superintendent (100%)	39	Weeks						\$ -
Surveyor (100%)	1	LS					\$ 50,000	\$ 50,000
Purchasing Agent (100%)	26	Weeks	1920	\$ 709				\$ 68,341
Project Secretary (100%)	39	Weeks	720	\$ 266				\$ 38,442
Project Accountant (100%)	39	Weeks	1750	\$ 646				\$ 93,435
Supervision Vehicles	9	Months		\$ -	\$ 1,866			\$ 16,794
Superintendent Vehicle Fuel & Repair	9	Months		\$ -	\$ 2,500			\$ 22,500
Superintendent Vehicle Insurance	9	Months		\$ -	\$ 443			\$ 3,985
Safety Program & Inspections	1	LS			\$ 7,500			\$ 7,500
Safety Signage	1	LS	\$ 4,000	\$ 1,500	\$ 6,500			\$ 12,000
Drug Testing	1	LS			\$ 1,060			\$ 1,060
Hard Hats & Safety Vests	1	LS			\$ 2,650			\$ 2,650
Raingear & Boots	1	LS			\$ 636			\$ 636
Eye & Ear Protection	1	LS			\$ 106			\$ 106
Safety Harnesses and Lifelines	1	LS			\$ 1,605			\$ 1,605
First Aid Supplies	9	Months			\$ 100			\$ 900
Office Trailer Rental	9	Months			\$ 2,250			\$ 20,250
Tool Trailer Rental	9	Months			\$ 250			\$ 2,250
Office Equipment	1	LS			\$ 5,000			\$ 5,000
Computer Equipment	1	LS			\$ 10,000			\$ 10,000
Project Software - Procore	1	LS			\$ 116,500			\$ 116,500
Office Supplies & Postage	9	Months			\$ 250			\$ 2,250
Office Furniture	1	LS			\$ 5,000			\$ 5,000
Drawings & Printing	1	LS			\$ 10,000			\$ 10,000
CAD Files	1	LS			\$ 5,000			\$ 5,000
Web Cam - OxBlue	9	Months			\$ 815			\$ 7,337



**Cross Keys High School  
Three Story Classroom Addition  
General Conditions Estimate**

4/8/2024

	Qty	Unit	Labor	Labor Burden	Material	Equipment	Sub	Total
Daily Photos - Cupix	9	Months			\$ 755			\$ 6,799
Aerial Photography	9	Months			\$ 105			\$ 945
Closeout Documents & As-Builts	1	LS			\$ 3,500			\$ 3,500
Traffic Control/Flagman	39	Weeks	\$ 1,375	\$ 507				\$ 73,413
Setup Field Office	1	LS	\$ 1,580	\$ 583	\$ 1,070			\$ 3,233
Remove Field Office	1	LS	\$ 1,050	\$ 387	\$ 1,070			\$ 2,507
Setup Tool Trailer	1	LS	\$ 500	\$ 185	\$ 852			\$ 1,537
Remove Tool Trailer	1	LS	\$ 250	\$ 92				\$ 342
Temporary Ladders	3	EA	\$ 200	\$ 74	\$ 535			\$ 2,426
Project Signs	1	LS	\$ 2,500	\$ 923	\$ 4,770			\$ 8,193
Radios	1	LS			\$ 3,500			\$ 3,500
Temp/Permanent Power & Gas	-	Months			\$ 14,365			\$ -
Temporary Power	9	Months			\$ 2,000			\$ 18,000
Temporary Power Setup (Georgia Power)	1	LS			\$ 25,000			\$ 25,000
Temporary Heat	4	Months			\$ 4,253			\$ 17,012
Temporary Water	9	Months			\$ 500			\$ 4,500
Holding Tank	9	Months			\$ 450			\$ 4,050
Temporary Toilets	9	Months			\$ 1,250			\$ 11,250
Sanitary Supplies	9	Months			\$ 200			\$ 1,800
Ice, Cups, and Water	9	Months			\$ 200			\$ 1,800
Telecom System & Installation (Internet)	1	LS			\$ 650			\$ 650
Telecom Service (Internet & Cell Phones)	9	Months					\$ 2,500	\$ 22,500
Barricades	1	LS			\$ 25,000			\$ 25,000
Ceremonies	1	LS			\$ 30,000			\$ 30,000
<b>TOTAL</b>								<b>\$ 1,962,381</b>



**Cross Keys High School  
Three Story Classroom Addition  
General Requirments Estimate**

4/8/2024

	<i>Qty</i>	<i>Unit</i>	<i>Labor</i>	<i>Labor Burden</i>	<i>Material</i>	<i>Equipment</i>	<i>Sub</i>	<i>Total</i>
Fire Extinguishers	25	EA			\$ 100			\$ 2,463
Temporary Fence	1,274	LF	\$ 5	\$ 2	\$ 6.24			\$ 16,670
Continuous Cleanup	39	Weeks	\$ 1,862	\$ 687				\$ 99,415
Dump Fees	53	Pulls					\$ 577	\$ 30,391
Street Sweeper	9	Months				\$ 1,610		\$ 14,490
Skid Steer	9	Months				\$ 2,862		\$ 25,758
Equipment Rental	9	Months				\$ 2,100		\$ 18,900
Fuel & Lubricant	9	Months				\$ 250		\$ 2,250
Small Tools	9	Months				\$ 1,000		\$ 9,000
Multivista	123,126	SF					\$ 0.35	\$ 43,094
Protect New Work	1	LS			\$ 50,000			\$ 50,000
<b>TOTAL</b>								<b>\$ 312,431</b>



**Cross Keys High School  
Performing Arts Addition  
General Conditions Estimate**

4/8/2024

	Qty	Unit	Labor	Labor Burden	Material	Equipment	Sub	Total
Project Team	1	LS	\$ 566,087	\$ 208,895				\$ 774,982
Senior Project Manager (100%)	39	Weeks						
Project Manager (100%)	39	Weeks						
Assistant Project Manager (100%)	39	Weeks						
Project Engineer (100%)	39	Weeks						
Project Engineer (100%)	39	Weeks						
Project Coordinator (100%)	39	Weeks						
General Superintendent (25%)	39	Weeks						
Project Superintendent (100%)	39	Weeks						
Assistant Superintendent (100%)	39	Weeks						
Surveyor (100%)	1	LS					\$ 50,000	\$ 50,000
Purchasing Agent (100%)	20	Weeks	1920	\$ 709				\$ 52,570
Project Secretary (100%)	39	Weeks	720	\$ 266				\$ 38,442
Project Accountant (100%)	39	Weeks	1750	\$ 646				\$ 93,435
Supervision Vehicles	-	Months			\$ 1,866			\$ -
Superintendent Vehicle Fuel & Repair	-	Months			\$ 2,500			\$ -
Superintendent Vehicle Insurance	-	Months			\$ 385			\$ -
Safety Program & Inspections	1	LS			\$ 7,500			\$ 7,500
Safety Signage	1	LS	\$ 4,000	\$ 1,500	\$ 6,500			\$ 12,000
Drug Testing	1	LS			\$ 1,060			\$ 1,060
Hard Hats & Safety Vests	1	LS			\$ 2,650			\$ 2,650
Raingear & Boots	1	LS			\$ 636			\$ 636
Eye & Ear Protection	1	LS			\$ 106			\$ 106
Safety Harnesses and Lifelines	1	LS			\$ 1,605			\$ 1,605
First Aid Supplies	-	Months			\$ 100			\$ -
Office Trailer Rental	-	Months			\$ 2,250			\$ -
Tool Trailer Rental	-	Months			\$ 250			\$ -
Office Equipment	-	LS			\$ 5,000			\$ -
Computer Equipment	-	LS			\$ 10,000			\$ -
Project Software - Procore	-	Months			\$ 116,500			\$ -
Office Supplies & Postage	-	Months			\$ 250			\$ -
Office Furniture	-	LS			\$ 5,000			\$ -
Drawings & Printing	1	LS			\$ 10,000			\$ 10,000
CAD Files	1	LS			\$ 5,000			\$ 5,000
Web Cam - OxBlue	-	Months			\$ 815			\$ -
Daily Photos - Cupix	-	Months			\$ 755			\$ -
Aerial Photography	-	Months			\$ 105			\$ -



**Cross Keys High School  
Performing Arts Addition  
General Conditions Estimate**

4/8/2024

	Qty	Unit	Labor	Labor Burden	Material	Equipment	Sub	Total
Closeout Documents & As-Builts	1	LS			\$ 3,500			\$ 3,500
Traffic Control/Flagman	-	Weeks	\$ 1,375	\$ 507				\$ -
Setup Field Office	-	LS	\$ 1,580	\$ 583	\$ 1,070			\$ -
Remove Field Office	-	LS	\$ 1,050	\$ 387	\$ 1,070			\$ -
Setup Tool Trailer	-	LS	\$ 500	\$ 185	\$ 852			\$ -
Remove Tool Trailer	-	LS	\$ 250	\$ 92				\$ -
Temporary Ladders	1	EA	\$ 200	\$ 74	\$ 535			\$ 809
Project Signs	1	LS	\$ 2,500	\$ 923	\$ 4,770			\$ 8,193
Radios	-	LS			\$ 3,500			\$ -
Temp/Permanent Power & Gas	4	Months			\$ 14,365			\$ 57,459
Temporary Power	-	Months			\$ 2,000			\$ -
Temporary Power Setup (Georgia Power)	-	LS			\$ 25,000			\$ -
Temporary Heat	4	Months			\$ 4,253			\$ 17,012
Temporary Water	-	Months			\$ 500			\$ -
Holding Tank	-	Months			\$ 450			\$ -
Temporary Toilets	-	Months			\$ 1,250			\$ -
Sanitary Supplies	-	Months			\$ 200			\$ -
Ice, Cups, and Water	-	Months			\$ 200			\$ -
Telecom System & Installation (Internet)	-	LS			\$ 650			\$ -
Telecom Service (Internet & Cell Phones)	-	Months					\$ 2,500	\$ -
Barricades	1	LS			\$ 25,000			\$ 25,000
Ceremonies	-	LS			\$ 30,000			\$ -
<b>TOTAL</b>								<b>\$ 1,161,959</b>



**Cross Keys High School  
Performing Arts Addition  
General Requirments Estimate**

4/8/2024

	Qty	Unit	Labor	Labor Burden	Material	Equipment	Sub	Total
Fire Extinguishers	7	EA			\$ 100			\$ 656
Temporary Fence	924	LF	\$ 5	\$ 2	\$ 6.24			\$ 12,091
Continuous Cleanup	-	Weeks	\$ 1,862	\$ 687				\$ -
Dump Fees	20	Pulls					\$ 577	\$ 11,540
Street Sweeper	3	Months				\$ 1,610		\$ 4,830
Skid Steer	3	Months				\$ 2,862		\$ 8,586
Equipment Rental	3	Months				\$ 2,100		\$ 6,300
Fuel & Lubricant	3	Months				\$ 250		\$ 750
Small Tools	3	Months				\$ 1,000		\$ 3,000
Multivista	32,818	SF					\$ 0.35	\$ 11,486
Protect New Work	1	LS			\$ 50,000			\$ 50,000
<b>TOTAL</b>								<b>\$ 109,239</b>