



DeKalb County School District

DESIGN & CONSTRUCTION

1780 Montreal Road
Tucker, GA 30084-6705
(678) 676-1345

Dr. Devon Q. Horton
SUPERINTENDENT

Routing/Transmittal Form

Project: E.L. Miller ES - Facility Improvements Project No: 354-35
 Contractor: Centennial Contractors Architect: CDH Architects
 Originator: Ryan Fernandez Date: April 10, 2024

DOCUMENT ATTACHED


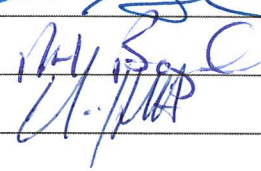
Design/Construction Phase

- Contract Award Package: *(Reason Below)*
 - Notice of Award
 - Notice to Proceed
 - Original Contract
- Mandatory Addendum to Owner Architect Agreement - State Capital Outlay
- Work Authorization
- Request for Proposal/Invitation to Bid Package
 - Review
 - Signature
- Design Contract Additional Services Request
- Change Order
- Change Order Request: *(Reason Below)* COR Amount \$353,522.34
- Amendment Amendment Amount _____
 - Owner Request
 - Errors/Omissions
 - Unforeseen Conditions
 - Regulatory Change
 - Other (Specify): Allowance
- Review of Drawings or Specifications
- Finish Board/Color Boards
- Plaque Dedication Authorization
- Project Close-Out: *(Reason Below)*
 - Release of Retainage
 - Recommendation of Acceptance
 - Report of Substantial Completion
 - Certificate of Substantial Completion
- Other: _____

Notes: Attached is Change Order 3 for your review and approval.

REVIEWERS & APPROVALS

Please Fill In Appropriately and Forward to the Next Approver

Review	Approve		
<input type="radio"/>	<input checked="" type="radio"/>	Project Manager	 4/10/24
<input type="radio"/>	<input type="radio"/>	Program Director	4/11/24
<input type="radio"/>	<input type="radio"/>	Director of Design and Construction	 4/16/24
<input type="radio"/>	<input type="radio"/>	Chief Operating Officer	4.16.24
<input type="radio"/>	<input type="radio"/>		
<input type="radio"/>	<input type="radio"/>		
<input type="radio"/>	<input type="radio"/>		

**THE DEKALB COUNTY BOARD OF EDUCATION
CONSTRUCTION CONTRACT CHANGE ORDER**

Osprey Management

Project Name:	E.L. Miller ES – Facility Improvements
Project No.:	354-423
Change Order No.:	03
Date:	April 3, 2024

Contractor:	Centennial Contractors Enterprises 3200 Cobb Galleria Parkway Suite 210 Atlanta, Ga 30339 Phone: 770-613-2999	(the "Contractor")
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Project Description:	Facility Conditions Improvements
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Reason for Change:	Owner Requested Items and Unforeseen Conditions
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The Contract for the above-referenced Project is hereby amended to provide for the following described change(s) upon the terms set forth below:
Scope of Work (for this change):

1. Structural Steel for DOAS Unit = \$70,076.31
2. Wall and HVAC modifications for IT room = \$22,948.82
3. Replace WSHP condensate lines = \$32,953.61
4. Colling Tower Power Requirements = \$14,928.62
5. Relocate HVAC piping from corridor 9 to corridor 7 = \$6,407.20
6. MDS to HVAC – Existing Circuits = \$5,120.61
7. Upgrade Building Gas Regulator = \$4,480.42
8. Repave entire front and back parking areas = \$186,803.95
9. Cooling Tower Additional Circuits = \$3,886.31
10. Carbon Monoxide Detector = \$5,946.49

Total Cost = \$353,522.34

Contract Amount:	Original Contract Price:	\$6,997,200.00
	Previous Change Orders (Nos.):	\$ 334,633.14
	Current Contract Price (with Change(s)):	\$7,331,833.14
	Amount of this Change Order:	<u>\$ 353,522.34</u>
	Revised Contract Price:	\$7,685,355.48

Contract Time:	Original Substantial Completion Date:	7/31/2024
	Increase/(Decrease) in calendar days by previous Change Order(s):	0
	Increase/(Decrease) in calendar days by this Change Order:	0
	Revised Substantial Completion Date:	7/31/2024

Attachments (Incorporated by Reference):

CLAIM IDENTIFICATION OR WAIVER

The Contractor has no claims arising out of or related to the Project for any (i) costs, expenses, profit, overhead, direct damages, consequential damages or increase in the Contract Price or (ii) delay or impact to the Contractor or the Project except as identified as follows:

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and any and all claims that are not identified hereinabove by the Contractor are hereby waived by the Contractor.

As changed hereinabove, the Contract for the above-referenced Project shall continue in full force and effect.

Agreed to by the Contractor:

 Matthew Wilson (Apr 9, 2024 14:56 EDT)		04/09/2024
_____ Matt Wilson Asst. Project Manager	_____ Tyler Shelton Program General Manager	_____ Date


Recommended for Acceptance by Architect:

	4/10/2024
_____ Melissa Cantrell President	_____ Date

Recommended for Acceptance by Program Manager & Owner:

	4/11/24
_____ Mel Butler Program Director	_____ Date

	4/16/24
_____ Richard Boyd Director, Design and Construction	_____ Date

	4.16.24
_____ Erick Hofstetter Chief Operating Officer	_____ Date

Approved by The DeKalb County Board of Education:

_____ Dr. Devon Q. Horton Superintendent	_____ Date
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_____ Mr. Dijon B. DaCosta Sr. Board Chair	_____ Date
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Board of Education Approval: (Required Over \$100,000)	Date: N/A	Item No.: N/A
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E.L. Miller ES
Change Order No. #3 - Breakdown

PCO #	Description	Owner Request	Unforeseen Condition	Allowance	Errors/Omissions
1	DOAS Structural Steel			\$70,076.31	
2	Furture IT Room	\$22,948.82			
3	Replace condasate drain lines		\$32,953.61		
4	Cooling Tower Power Requirements				\$14,928.62
5	Relocate pipe from corridor 9 to corridor 7		\$6,407.20		
6	MDS to HVAC - Existing Circuits				\$5,120.61
7	Building Gas Regulator Upgrade		\$4,480.42		
8	Repave the entire parking lot	\$186,803.95			
9	Cooling Tower Additional Circuits		\$3,886.31		
10	Carbon Monoxide Detector		\$5,946.49		

Totals		\$209,752.77	\$53,674.03	\$70,076.31	\$20,049.23	\$353,552.34
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POTENTIAL CHANGE ORDER (PCO) REQUEST

School Name:	E.L. Miller ES	Date:	December 9, 2023
Project Name:	GC Services for EL Miller MSBR	Project Number:	354-35
Title:	DOAS Structural Steel	PCO #:	023

Description of Work:

Per RFI #56 response and associated drawings, structural steel reinforcements are required for the new rooftop equipment to be installed. DOAS-1 and DOAS-2 weigh approximately 1,792 lbs. DOAS-3 weighs approximately 5,529 lbs. Includes drywall removal and rebuild in order to place steel at DOAS-1 and DOAS-2 locations.

There is \$20,000 allowance for structural steel supports that was added per RFC 1.13, and Revised Attachment I in Addendum 3 which is utilized in Line F below.

A. Subcontractor Cost of the Work

Structural Steel Erection	\$ 79,800.00	
GA Fire Proofing	\$ 5,720.00	
	\$ -	
	\$ -	
	\$ -	
	\$ -	
		Subtotal A: \$ 85,520.00

B. CONTRACTOR Fee: (As per Section 11.7.1.2) - **5% subcontractor work** **Subtotal B:** \$ 4,276.00

C. CONTRACTOR Cost of the Work:

Payroll Costs (See attached supporting documentation.)	\$ -	
Materials and Equipment (See attached supporting documentation.)	\$ -	
Consultant Costs (See attached supporting documentation.)	\$ -	
Self-Performed Costs (See attached supporting documentation.)		
		Subtotal C: \$ -

D. P&P Bond - 0.4% of Total Subs Cost of Change **Subtotal D:** \$ 280.31

E. CONTRACTOR Fee: - 10% self performed **Subtotal E:** \$ -

F. CONTRACT ALLOWANCE REDUCTION **Subtotal F:** \$ (20,000.00)

Total = (A + B + C + D + E) **Total:** \$ 70,076.31

- The proposal would Increase Decrease the Milestones and/or Contract Time by _____ calendar days.
- The proposal does NOT affect the Milestones and/or Contract Time.

Contractor Signature

Operation Manager
Title

December 9, 2023
Date

STRUCTURAL STEEL ERECTION CO

YOUR SATISFACTION IS OUR SUCCESS

PO BOX 1688 SUWANEE GA 30024

JERRY MEYER # 678 480 8917

FAX # 470 266 1836 STRUCTURALSTEELERECTORS@YAHOO.COM

November 13, 2023

Re: Bid for supply and erection of structural steel, EL Miller E.S., Redan, DeKalb County, GA

We have successfully and smoothly erected hundreds of local projects over the past twenty-three years, including many similar HVAC upgrade steel supply & erection projects, plus many other additions and complete Elementary, Middle & High Schools and the signature five story STEM H.S. in Lawrenceville Gwinnett County, all without ever having any hitches on any one of them.

We offer a price of \$79,800.00 (seventy-nine thousand eight hundred dollars)

Our offer includes supply & erection of structural steel for:

- 3 - RTU support frames
- 10 - Joists reinforced
- Panel point kickers as needed.

Our offer is based on:

1. Working on a concrete slab
2. Unrestricted equipment access
3. Standard A.I.S.C. tolerance specifications
4. Sufficient lay down area adjacent to erection
5. Purchase order for supply & contract for erection
6. Inside the footprint jobs shall be sequenced bay by bay
7. GC furnishing certified anchor bolt/plate survey upfront
8. Ten percent on mobilization, add 2% for non-compliance
9. Adequate shake out space for one sequence in single layer
10. Maximum 5% retainage, add 5% for holding 10% retainage
11. Current OSHA rules & regulations, "subpart R", steel erection
12. Jerry Meyer being consulted at the start of the project to install appropriate means and methods
13. Payment, bi-weekly, we are labor subs that bankroll your project, add 5% for paid when paid terms
14. Payment shall be made via EFT, or overnighted if you do not have that capability, at no cost to us
15. Our insured values of 4M GL/UM combined, 1M Auto, 150K Equip & 500K WC, if additional coverage is required, the additional insurance premium is an add on (\$2,500 for W.O.S. on WC).

Our offer excludes:

1. Painting
2. Grouting
3. Demolition work
4. Block ties & straps
5. Liquidated damages
6. Cleaning mud off steel
7. Metal roofing & gutters
8. Fees for testing and inspection
9. Prevailing wage (Davis Bacon)
10. Light gauge metal stud framing
11. Aluminum, brass, stainless steel & other alloys work
12. Bonding performance and/or payment (5% bond rate)
13. Shop drawings shall be marked up S drawings (add \$10,000.00 for separate shop drawings)
14. Setting embedded items & steel attaching to concrete, masonry and wood
15. Grading anchor bolts (GC to grade one leveling nut/shim pack/set and mark it)

Revision 2 drawings acknowledged.

Please contact me with any questions.

Best regards,



Jerry H. Meyer

678 480 8917 (c)

structuralsteelerectors@yahoo.com



PO Box 2775 Covington, GA 30015 Phone: (770)415-1103 Fax: (678)729-8636

DATE: November 13, 2023

Sent via: Email

TO: Centennial Contractors Enterprises, Inc.
Tyler Shelton

RE: E.L. Miller E.S. Roof Rework
Atlanta, Georgia

Thank you for the opportunity to submit this proposal on the above referenced project. Our price is based on the following scope of work, terms, and conditions.

1.0 SCOPE OF WORK

1.1 Provide all labor, tools, and equipment necessary to fabricate, deliver, and install the following steel scope of work:

All work is to be done between Saturday, November 18th and Thursday, November 23rd.

DOAS-1:

C8x11.5 Curb Beams
Angle 3x3x1/4 for Curb Frames
Angle 1.5x1.5 for point load stiffeners
JR-1 Joist Repair Protocol:
5/8" A36 Rods Top and Bottom, Left and Right
Angle 1x1x3/16 for diagonals
Angle 2x2x1/4 Stiffeners
Various 3/16" and 1/4" Plates

DOAS-2:

C8x11.5 Curb Beams
Angle 3x3x1/4 for Curb Frames
Angle 1.5x1.5 for point load stiffeners
JR-1 Joist Repair Protocol:
5/8" A36 Rods Top and Bottom, Left and Right
Angle 1x1x3/16 for diagonals
Angle 2x2x1/4 Stiffeners
Various 3/16" and 1/4" Plates

DOAS-3:

C8x11.5 Curb Beams
Angle 3x3x1/4 for Curb Frames

Angle 1.5x1.5 for point load stiffeners
JR-1 Joist Repair Protocol:
5/8" A36 Rods Top and Bottom, Left and Right
Angle 1x1x3/16 for diagonals
Angle 2x2x1/4 Stiffeners
Various 3/16" and 1/4" Plates

Typical Standard Inclusions:

Shop Labor
Std. Shop Primer – 1 coat red or gray oxide, UNO
Shop Drawings
Taxes
Freight
Field Labor
Hoisting as necessary
Man-lifts as necessary
Equipment
Tools
Consumables

2.0 FURTHER CLARIFICATIONS

- 2.1 Our price is based on the owner or owner's representative supplying the following: a slab area clear of obstructions, electricity, and a flat mud free working area a minimum of 20' around the edge of the slab. If the conditions are not met, further costs may incur.
- 2.2 Our price is based on the scope of work listed in Section 1.0. Anything that is not listed in our scope of work is excluded from our price and proposal. If any work that is not listed in our scope is required for us to do, further costs will incur.
- 2.3 **Our price is based on Unlimited Structures, LLC standard wage scale. Prevailing wage rates are not included in our proposal unless otherwise stated in section 1.0.**
- 2.4 Our price is based on our firm unloading the building and all associated material and staging them at a maximum of 150' from the building slab.
- 2.5 Our price is based on all building materials being delivered in a timely manner. Any delays in erection due to delivery of materials, not the fault of Unlimited Structures, LLC. will result in further costs.
- 2.6 Our price is based on the project being completed in one mobilization. If Unlimited Structures, LLC has to demobilize and re-mobilize for any reason not the fault of Unlimited Structures, LLC further costs may incur.
- 2.7 Our price does not include the pressure washing, cleaning or painting of the steel. Unlimited Structures, LLC will do it's best to keep the steel as clean as possible, but we can only keep the steel as clean as the conditions given to us. Any scratches made during the unloading or erection of the steel by Unlimited Structures, LLC will be touched up at no extra cost to the contractor. Any request above and beyond this may incur extra costs.

3.0 SCHEDULE

3.1 Approximately 6 days for installation of all items.

4.0 PRICE

If all of the clarifications and conditions have been met, Unlimited Structures will complete the Scope of Work listed in section 1.0 for the price of **\$158,358.00**.

4.1 REQUESTED ALTERNATES

None at this time.

4.2 VOLUNTARY ALTERNATES:

None at this time.

5.0 TERMS AND CONDITIONS

5.1 All state, federal, and local taxes are included in this proposal.

5.2 We have not included any allowance for changes or additions not included in the scope of work outlined in section 1.0 above. Any verbal or written instructions to Unlimited Structures, LLC to perform any work above and beyond the scope in 1.0 above will be considered authorization to our firm to perform the requested service at our normal billing rates.

5.3 Invoicing for this project will be on an agreed upon schedule as determined in the pre-construction meeting. Invoicing shall reflect the mutually agreed upon percent complete of the scope of work by Unlimited Structures, LLC and **Centennial Contractors Enterprises, Inc.**

5.4 Payments shall be made in with-in 30 days of billing.

5.5 Payment for change orders or additional work not outlined in the scope of work above will be expected within ten (10) business days upon the completion of the requested work or the next payment, whichever is first.

5.6 In the event of a delay in production caused by the owner, or the owner's representative, that causes Unlimited Structures, LLC to temporarily stop work, there may be a daily standby charge. This standby charge may include 8.0 hours pay for each employee, equipment rental, or a demobilization/remobilization fee.

5.7 This price is subject to possible revision upon the receipt of stamped shop drawings.

5.8 This proposal is based on the following bid documents:

5.8.1 Structural Drawings dated 11/3/23.

5.9 Unlimited Structures' (US) is based on indemnity to extend only to our work or suppliers or our subcontractors work. Indemnity of the negligence of others and alleged infringements are hereby excluded.

5.10 Controlling contractor is to be provide elevation and grid control lines where applicable.

5.11 US will not sign or grant Unconditional Waivers of Liens for blanket waivers, but will progressively execute the Partial Conditional Waivers of Liens as payments are received.

- 5.12 US reserves the right to stop work if payments are not received in an agreed upon manner.
- 5.13 RETAINAGE: 10% until 50% of the project is completed. At 50% of the project completion, half of the retainage will be released.
- 5.14 Structural Steel will be erected per AISC code of standard practice. Any deviations are excluded.
- 5.15 Full surveys are not included.
- 5.16 Liquidated damages are not included.
- 5.17 Cost of bonds are not included.....if required, please advise for our bonding rate.
- 5.18 Cost of testing and/or 3rd party inspections on jobsite are not included.
- 5.19 Touch up paint unless damaged by US is not included.
- 5.20 Finish paint and painting are not included.
- 5.21 Demolition, patching and /or repairing of existing structures and finish materials are not included.
- 5.22 Caulk and caulking are not included.
- 5.23 Grout and grouting are not included.
- 5.24 Protection of existing structure (i.e. roof, walls, flooring, etc etc) before, during, or after erection is not included, unless directed otherwise during pricing.
- 5.25 Protection of these new materials, furnished under this subcontract, after completion of installation is not included.
- 5.26 This project is quoted under standard work hours...cost of overtime and accelerated schedules is not included.
- 5.27 Installation, removal, repair, and replacement of all fireproofing/sprayed on insulation is not included.
- 5.28 Any items not included in the inclusions at the top of this proposal are not included.
- 5.29 Builder's Risk Insurance is not included.
- 5.30 XCU Limits of Liability Insurance is not included.
- 5.31 Washing of Delivery Trucks is not included.
- 5.32 Temporary lighting is not included.
- 5.33 Light gauge metals are not included.
- 5.34 Inspections of existing concrete (x-rays) is by others
- 5.35 Fixes in case of conflict with drilling and hitting existing rebar is not currently included in our numbers.
- 5.36 All roofing/flushing/protection of openings/cutting roof openings is by others.
- 5.37 All roof demo is by others.
- 5.38 All moving MEP equipment is by others.
- 5.39 All movement/protection of Owner's equipment/furniture/furnishings is by others.

Unlimited Structures

Date

Centennial Contractors Ent.

Date



Change Order #1

Project: E.L. Miller Elementary School - Stone Mountain, GA 2023.9018 Contract # Contract Date:	Customer: Centennial Contractors Enterprises, Inc 3200 Cobb Galleria Pkwy Suite 210 Atlanta GA 30339	Prepared By: Candido Hernandez Chernandez@gafireproofing.com 12/1/2023
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~~1. Mineral Wool- Smoke seal \$1,350.00~~

Description of Change:

- install 4" 4# mineral wool at opening in block walls
- Install smoke seal over the mineral wool
- Installation only on 1 side of the wall
- Approximately 26 penetrations from 3" to 1' in diameter

Condition was found in two locations (DOAS-1 & DOAS-2). This was priced at only the DOAS-2 location.

2. Head of Wall \$2,860.00

Description of Change:

- Remove and re-install drywall at the top of block wall.
- Smoke seal/drywall tape included with new drywall
- Approximately 18" high and 30 LF

x 2

\$5,720.00

We hereby agree to make the changes specified for Total Price listed above.
The above change order request price is valid for 30 days.

CONTRACTOR: _____
GA Fire Proofing LLC

The above prices and specifications of this Change Order are satisfactory and are hereby accepted. All work shall be performed under the same terms and conditions as specified in the original contract unless otherwise stipulated.

ACCEPTED BY: _____
Centennial Contractors Enterprises, Inc



POTENTIAL CHANGE ORDER (PCO) REQUEST

School Name:	E.L. Miller ES	Date:	January 11, 2024
Project Name:	GC Services for EL Miller MSBR	Project Number:	354-35
Title:	Future IT Room	PCO #:	025

Description of Work:

Separate room 145.4 and room 145.6 to create a separate IT Room for the DCSD IT rack based off drawings EL Miller IT Room Revision 4 provided by CDH Architecture. This includes a new ductless split system for Room 145.6, a new gypsum board partition to deck above, relocating fire suppression is necessary, along with incidental painting and flooring repairs. Reference RFI #49 and drawings E.L. Miller IT Room Renovations 4 that are attached.

A. Subcontractor Cost of the Work

<u>Conditioned Air Systems</u>	\$	10,915.46	
<u>Electrical Contractors Incorporated</u>	\$	4,460.13	
<u>Bobby Taylor Painting</u>	\$	1,093.00	
<u>Nailed It Contracting</u>	\$	3,750.00	
<u>Summit Fire Systems</u>	\$	1,350.00	
<u>AAA Commerical Floors</u>	\$	200.00	
			Subtotal A: \$ 21,768.59

B. CONTRACTOR Fee: (As per Section 11.7.1.2) - 5% subcontractor work

Subtotal B: \$ 1,088.43

C. CONTRACTOR Cost of the Work:

Payroll Costs (See attached supporting documentation.)	\$	-	
Materials and Equipment (See attached supporting documentation.)	\$	-	
Consultant Costs (See attached supporting documentation.)	\$	-	
Self-Performed Costs (See attached supporting documentation.)			
			Subtotal C: \$ -

D. P&P Bond - 0.4% of Total Subs Cost of Change

Subtotal D: \$ 91.80

E. CONTRACTOR Fee: - 10% self performed

Subtotal E: \$ -

Total = (A + B + C + D + E) Total: \$ 22,948.82

The proposal would Increase Decrease the Milestones and/or Contract Time by _____ calendar days.

The proposal does NOT affect the Milestones and/or Contract Time.

Matthew Wilson (Jan 11, 2024 12:30 EST)

Contractor Signature

Asst. PM / Program General Manager

Title

January 11, 2024

Date



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 Suite 100
 Atlanta, GA 30339
 770.423.0016
 www.cdhparkers.com
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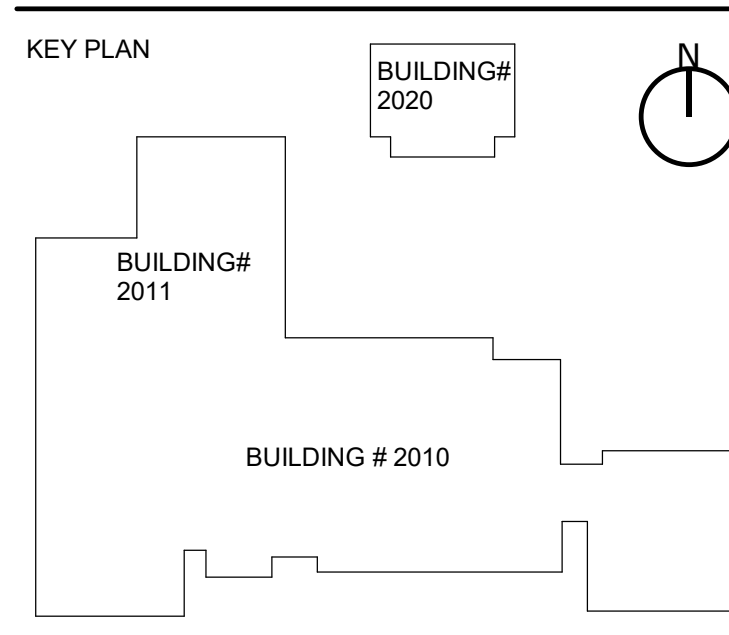
DEKALB COUNTY SCHOOL DISTRICT
E.L. MILLER ELEMENTARY SCHOOL UPGRADE
#354-423
 919 MARTIN ROAD, STONE MOUNTAIN, GA 30088

PROJECT NO: 20046

SD PACKAGE	11/06/2020
CD 30% PKG	12/04/2020
SD 30% PKG REV	09/28/2021
CD 80% PKG	11/24/2021
PERMIT SET	12/17/2021



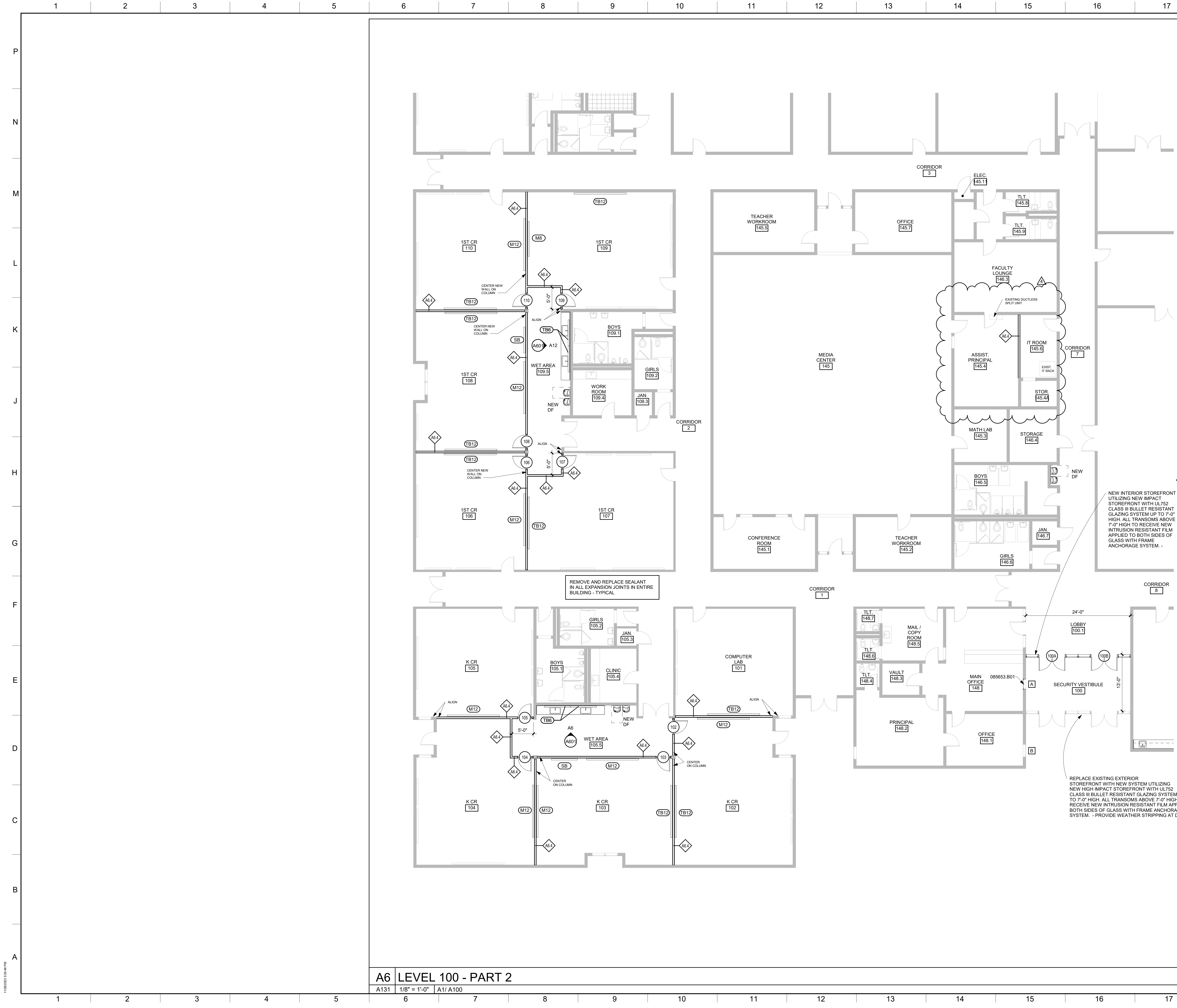
12/04/2023	
4	Rev 6 IT Room



SHEET TITLE
FLOOR PLANS

SHEET NUMBER
A100

A1 LEVEL 100 - OVERALL PLAN



KEYNOTE LEGEND
 085653.B01 FIXED, TRANSACTION SECURITY WINDOW



DEKALB COUNTY SCHOOL DISTRICT
E.L. MILLER ELEMENTARY SCHOOL UPGRADE
#354-423
 919 MARTIN ROAD, STONE MOUNTAIN, GA 30088
 FACILITY CODE NUMBER
 64-0161

PROJECT NO: 20046

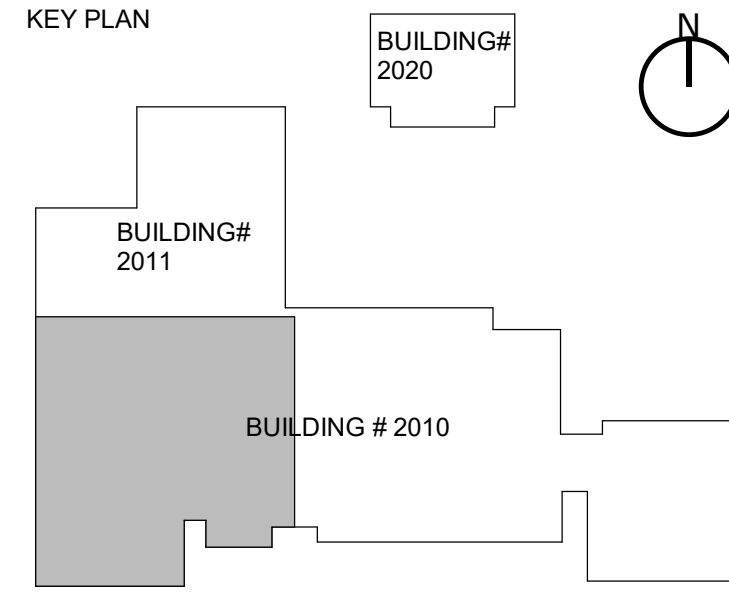
SD PACKAGE	11/06/2020
CD 30% PKG	12/04/2020
CD 50% PKG	09/29/2021
CD 80% PKG	11/24/2021
PERMIT SET	12/17/2021



PLAN NOTES
 1. NEW DRINKING FOUNTAINS SHALL BE PLACED IN EXACT LOCATIONS AS OLD ONES THAT ARE REMOVED. SEE ENGINEERING DISCIPLINES FOR PLUMBING AND ELECTRICAL REQUIREMENTS

VISUAL DISPLAY BOARD LEGEND
 SEE SPEC SECTION 10 1100 FOR MORE INFO.

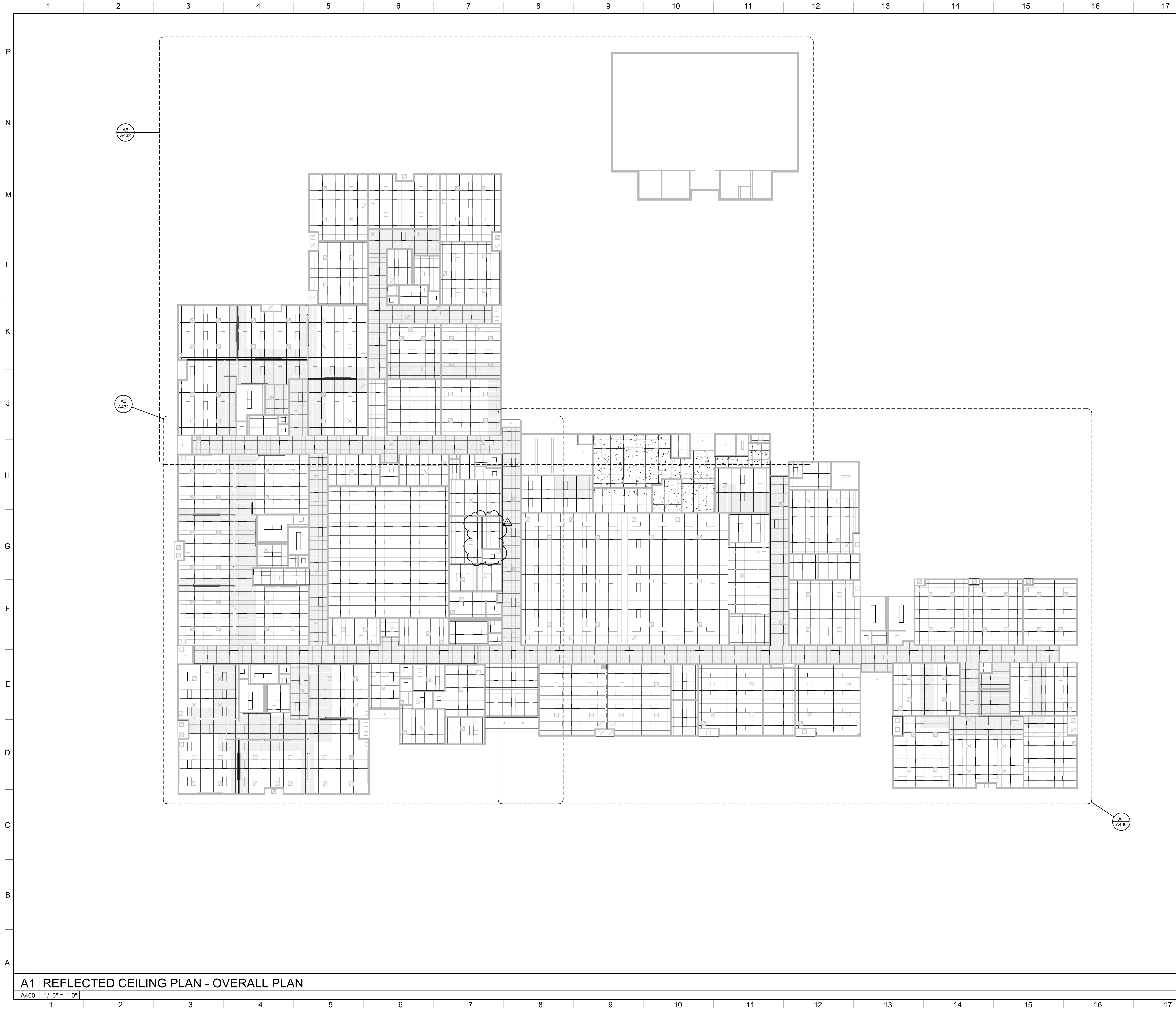
- MARKERBOARDS
- (M8) 8" WIDE X 4" HIGH MARKERBOARD
 - (M12) 12" WIDE X 4" HIGH MARKERBOARD
- TACKBOARDS
- (TB6) 6" WIDE X 4" HIGH TACKBOARD
 - (TB12) 12" WIDE X 4" HIGH TACKBOARD
- SMARTBOARDS
- (SB) OWNER-PROVIDED SMARTBOARD. GC TO PROVIDE BLOCKING. COORDINATE WITH ELECTRICAL.



A6 LEVEL 100 - PART 2
 A131 1/8" = 1'-0" A1/A100

6-08-2022	12-04-2023
B	ADDENDUM NO. 2
4	Rev 6 IT Room

SHEET TITLE
ENLARGED PLANS
 SHEET NUMBER
A131



REFLECTED CEILING PLAN LEGEND

- RECESSED DOWNLIGHT
- 2' x 4' LAY-IN LIGHT FIXTURE
- 2' x 2' LAY-IN LIGHT FIXTURE
- ▭ STRIP FIXTURE
- ⊠ HVAC RETURN OR EXHAUST FAN
- ⊞ HVAC SUPPLY AIR DIFFUSER

GENERAL NOTES

- EXISTING GYPSUM BOARD CEILING SYSTEM TO REMAIN U.N.O. PATCH AS REQUIRED (PAINT TO MATCH EXISTING)
- REMOVE AND REPLACE EXISTING 2'x2' OR 2'x4' ACOUSTICAL LAY IN CEILING SYSTEM - TYPE A1 - USE SAME SIZE AND TYPE AS EXISTING ACT
- REMOVE AND REPLACE EXISTING 2'x4' ACOUSTICAL LAY IN CEILING SYSTEM - TYPE A2 (CLEAN ROOM VINYL) - PROVIDE 18" MIN. STAINLESS STEEL CEILING PANELS AROUND ENTIRE KITCHEN HOOD

NOTE: EXISTING CEILINGS SHALL REMAIN IN AREAS WITH NO HATCH PATTERN. COORDINATE WITH NOTE "I" BELOW.

GENERAL RCP NOTES

REFLECTED CEILING PLANS MAY NOT SHOW FULL EXTENT OF LIGHTING, MECHANICAL PENETRATIONS OR REQUIRED ACCESS PANELS. REFER TO ENGINEERING DISCIPLINE DRAWINGS FOR ADDITIONAL INFORMATION. EXISTING GYPSUM BOARD CEILING SYSTEM TO REMAIN U.N.O. PATCH AS REQUIRED (PAINT TO MATCH EXISTING)

- A. ALL LIGHT FIXTURES, DIFFUSER, SPRINKLER HEADS, ETC. IN ACOUSTICAL LAY-IN CEILING S SHALL BE LOCATED IN THE CENTER OF THE CEILING, UNLESS NOTED OTHERWISE.
- B. ALL SPRINKLER HEADS IN GYP. BD. CEILING SHALL BE CONCEALED SPRINKLER HEADS. SPRINKLER HEAD COVERS TO MATCH COLOR OF ADJACENT SURFACE.
- C. REFER TO E001 FOR LIGHT FIXTURE TYPES.
- D. ALL MECH. AND PLUMBING PIPING AND EQUIPMENT TO BE INSTALLED WITHIN THE BAR JOIST WHERE POSSIBLE.

A. REFLECTED CEILING PLANS DO NOT SHOW FULL EXTENT OF LIGHTING, MECHANICAL PENETRATIONS OR REQUIRED ACCESS PANELS. REFER TO ENGINEERING DISCIPLINE DRAWINGS FOR ADDITIONAL INFORMATION.

B. FOR NEW CEILINGS, ALL LIGHT FIXTURES, DIFFUSER, SPRINKLER HEADS, ETC. IN ACOUSTICAL LAY-IN CEILING SHALL BE LOCATED IN THE CENTER OF THE CEILING TILE, UNLESS NOTED OTHERWISE. IN EXISTING AREAS, THE CONTRACTOR SHALL PLAN TO PLACE ALL EXISTING CEILING MOUNTED EQUIPMENT AND DEVICES IN THEIR EXISTING LOCATIONS TO MINIMIZE THE NEED FOR MODIFICATIONS.

C. SOME EXISTING ACOUSTICAL & GYPSUM CEILINGS WILL BE REPLACED AS A RESULT OF THE MECHANICAL SCOPE (SEE RCP). ALL NEW CEILINGS SHALL MATCH THE HEIGHT AND CONFIGURATION OF THE EXISTING CEILINGS UNLESS NOTED OTHERWISE (SEE NOTE "D" BELOW). FIELD VERIFY THAT HEIGHTS SHOWN MATCH EXISTING. CONTRACTOR SHALL FIELD VERIFY THAT EXISTING CEILING TYPES AND NOTIFY THE ARCHITECT IF THERE IS ANY DISCREPANCY.

D. NEW CEILING PERIMETER ANGLES SHALL BE INSTALLED LEVEL. POSITION THESE ANGLES SO THAT THERE WILL NOT BE A NEED TO TOUCH UP THE EXISTING PAINT. IF THE EXISTING CEILING IS NOT LEVEL, THIS MAY REQUIRE PLACING THE NEW CEILING SLIGHTLY LOWER THAN THE EXISTING CEILING.

E. THE CONTRACTOR SHALL COORDINATE THE RELOCATION OF ANY EXISTING CEILING OR WALL MOUNTED EQUIPMENT THAT WILL BE AFFECTED BY CEILINGS THAT ARE INSTALLED AT A LOWER HEIGHT THAN THE EXISTING CEILING.

F. ALL EXISTING CEILING MOUNTED EQUIPMENT INCLUDING BUT NOT LIMITED TO LIGHTING, DIFFUSERS, SMOKE DETECTORS, & SPEAKERS SHALL BE TEMPORARILY SUSPENDED FROM THE STRUCTURE UNTIL THEY ARE REINSTALLED IN THE NEW CEILINGS. THE CONTRACTOR SHALL CLEAN ALL SUCH EQUIPMENT PRIOR TO REINSTALLATION (TYP).

G. SEE ELECTRICAL DRAWINGS REGARDING THE SUPPORT OF EXISTING LIGHTING IN NEW CEILINGS.

H. PROVIDE CEILING ACCESS WHERE EXISTING ACCESS IS CURRENTLY PROVIDED AND AT ALL HARD CEILINGS WHERE MAINTENANCE IS REQUIRED FOR BALL VALVES, ELECTRICAL DISCONNECTS, SMOKE DETECTORS, AND ANY OTHER ABOVE CEILING EQUIPMENT (TYP).

I. WHERE WORK IS REQUIRED ABOVE EXISTING CEILINGS SHOWN TO REMAIN, THE CONTRACTOR SHALL WORK THROUGH THE EXISTING CEILING GRID TAKING CARE NOT TO BEND CEILING GRID OR BREAK CEILING TILES.

J. REFER TO ENGINEERING DISCIPLINES FOR ADDITIONAL CEILING NOTES

K. SEE ALLOWANCES FOR MODIFICATIONS TO THE EXISTING SPRINKLER SYSTEM.

L. COORDINATE WITH THE LOCAL FIRE MARSHAL REGARDING ABOVE CEILING INSPECTIONS PRIOR TO COVER UP.

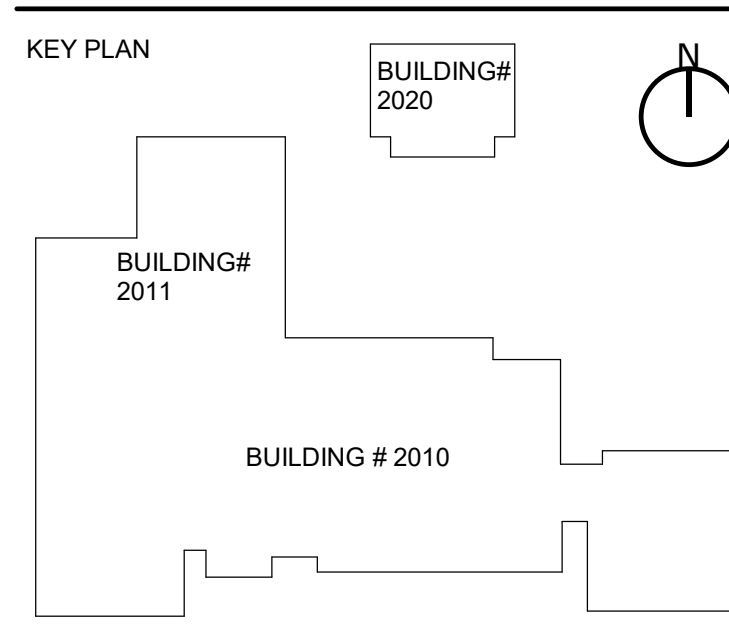
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DEKALB COUNTY SCHOOL DISTRICT
E.L. MILLER ELEMENTARY SCHOOL UPGRADE
#354-423
919 MARTIN ROAD, STONE MOUNTAIN, GA 30088
FACILITY CODE NUMBER
64-0161

PROJECT NO:	20046
SD PACKAGE	11/06/2020
CD 30% PKG	12/04/2020
CD 30% PKG REV	09/29/2021
CD 80% PKG	11/24/2021
PERMIT SET	12/17/2021



12-04-2023	
4	Rev 6 IT Room



SHEET TITLE
REFLECTED CEILING PLAN

SHEET NUMBER
A400

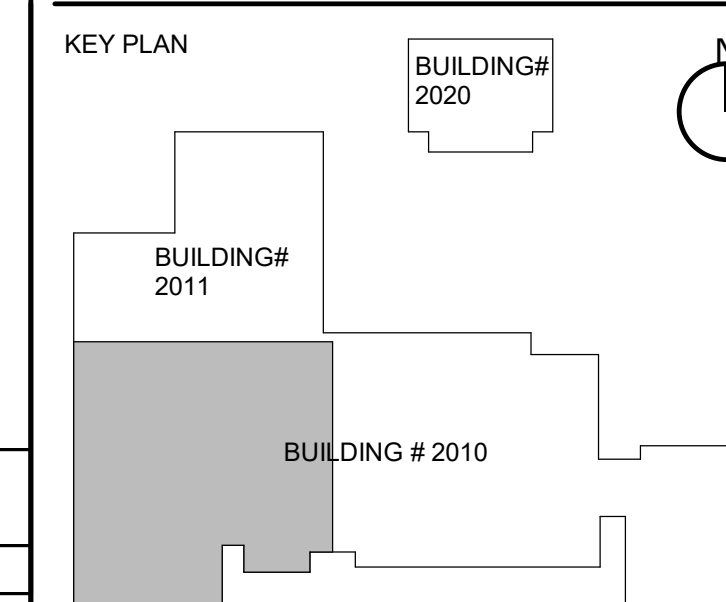
A1 REFLECTED CEILING PLAN - OVERALL PLAN

A400 1/16" = 1'-0"



A6 REFLECTED CEILING PLAN - PART 2

A431 1/8" = 1'-0" A1/A400



KEY PLAN
BUILDING# 2020
BUILDING# 2011
BUILDING # 2010

REFLECTED CEILING PLAN - PART 2

SHEET NUMBER

A431

PROJECT NO:	20046
SD PACKAGE	11/06/2020
CD 30% PKG	12/04/2020
SD 30% PKG REV	09/29/2021
CD 80% PKG	11/24/2021
PERMIT SET	12/17/2021



12-04-2023	
4	Rev 6 IT Room

SHEET TITLE

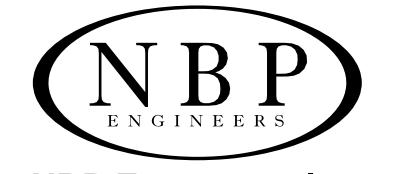
REFLECTED CEILING PLAN - PART 2

SHEET NUMBER

A431

DEKALB COUNTY SCHOOL DISTRICT
E.L. MILLER ELEMENTARY SCHOOL UPGRADE #354-423
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PACKAGED DEDICATED OUTSIDE AIR UNIT SCHEDULE

MARK	TOTAL SUPPLY CFM	MAX. MOTOR HP	APPROX. TOTAL S.P. (IN. H ₂ O)	EXT. S.P. (IN. H ₂ O)	COOLING COIL						MIN. ROWS	HOT GAS REHEAT COIL MBH	ELECTRIC HEAT KW	UNIT LAT DB (F)	REMARKS	
					MAX COIL FACE VEL. (FPM)	TOTAL SENSIBLE MBH	TOTAL COIL MBH	ENTERING AIR		LEAVING AIR						
								DB (°F)	WB (°F)	DB (°F)						WB (°F)
DOAS-1	2100	1	1.4	1.0	170	107	189	95	76	48.9	48.8	6	71.3	40	80.3	
DOAS-2	2100	1	1.4	1.0	170	107	189	95	76	48.9	48.8	6	71.3	40	80.3	
DOAS-3	8400	6 (1)	0.75	1.6		640	800	95	76	50.8	50.7	6	203		73.2	

NOTES:
① 3 SA FANS AT 2 HP EA.

GRILLE SCHEDULE

MARK	TYPE	TITUS	FACE	NECK	FINISH	NECK VOLUME DAMPER	① RUNOUT	REMARKS
A	RLF	TMS	24"x24"	8"Ø	OFFWHITE	NO	8'Ø	

NOTES:
① RUNOUT SIZE UNLESS OTHERWISE NOTED.

WATER SOURCE HEAT PUMP SCHEDULE

MARK	AIRFLOW CFM	ESP IN W.G.	COOLING								PIPE RUNOUT SIZE (IN)	LAYOUT CARRIER
			GTH MBH	SHC MBH	LAT DB	LAT WB	GPM	WATER P.D. FT. WATER	MIN. EER	MIN. HEATING COP		
WSHP-1 - 39	1000	0.5	35.0	25.4	56.5	55.5	8.3	11	14.3	4.7	1/4	50PCH036

NOTES:
① CAPACITIES BASED ON 85°F EWT, 95°F LWT, 75°F EADB, 64°F EAWB.

PUMP SCHEDULE

MARK	SERVICE	TYPE	GPM	DYNAMIC FT. H ₂ O	MIN. SHUT OFF HEAD	RPM	MAX. HP	MIN. EFF. %	MANUFACTURERS			REMARKS
									B & G	PATTERSON	TACO	
									CWP-1	CONDENSER WATER	ES	
CWP-2	CONDENSER WATER	ES	330	100	110	1,750	20	70.8	3GB	4x3x11	4x3x11	
TP-1	TOWER PUMP	ES	350	55	60	1,750	7.5	76	3BD	4x3x9.5	4x3x9.5	
BP-1	BOILER PUMP	VIL	80	65	70	1,750	5	51	2x2x9.5C	2x2x9.5	2x2x9.5	
BP-2	BOILER PUMP	VIL	80	65	70	1,750	5	51	2x2x9.5C	2x2x9.5	2x2x9.5	

HEAT EXCHANGER SCHEDULE PLATE & FRAME

MARK	TYPE	CAPACITY MBH	HOT SIDE				COLD SIDE				REMARKS
			P.D. (PSI)	GPM	EWT	LWT	P.D. (PSI)	GPM	EWT	LWT	
HTX-1	PF	1620	10	325	95	85	10	350	82	92	

CONDENSING HOT WATER BOILER SCHEDULE

MARK	BOILER INPUT MBH	MIN. OUTPUT MBH	MIN. EFFICIENCY	OPERATING PRESSURE	GPM	VOLT/PHASE	REMARKS
BLR-1	1250	1181	96.2%	45	80	120/1	

FAN SCHEDULE

MARK	TYPE	CFM	S.P. IN W.G.	MIN. FAN DIA. (IN)	MAX. RPM	MAX. T.S.	DRIVE	MOTOR HP	REMARKS
KEF-1	REF	8400	1.4	30	785	6265	DIRECT	5	

ELECTRIC UNIT HEATER SCHEDULE

MARK	SPACE	TOTAL KW	VOLT/PHASE	REMARKS
EUH-1	MECH. RM.	10	460/3	

DUCTLESS SPLIT SYSTEM SCHEDULE 208V/1PH

INDOOR UNIT MARK	OUTDOOR UNIT MARK	MIN. COOLING MBH	REVERSE CYCLE MBH	MIN. SEER	CARRIER MODEL	
					INDOOR	OUTDOOR
DAC-1	DCU-1	24	24	20	40MBC024	38MHRC24A
DAC-2	DCU-2	24	24	20	40MBC024	38MHRC24A
DAC-3	DCU-3	24	24	20	40MBC024	38MHRC24A
DAC-4	DCU-4	24	24	20	40MBC024	38MHRC24A
DAC-5	DCU-5	24	24	20	40MBC024	38MHRC24A

KITCHEN HOOD SCHEDULE

MARK	SUPPLY AIR		EXHAUST AIR		HOOD DIMENSIONS (INCHES)		
	MAX. CFM	MAX. S.P.	MAX. CFM	MAX. S.P.	LENGTH	WIDTH	HEIGHT
KH-1	6720	0.09	8400	0.66	144	108	24

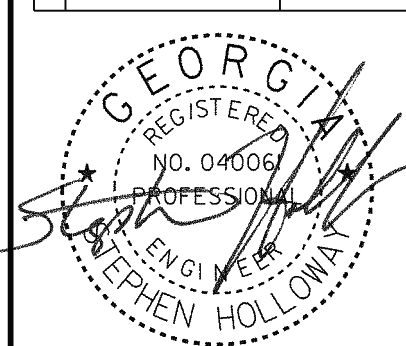
NOTES:
① INCLUDING FILTERS.

COOLING TOWER SCHEDULE

MARK	GPM	EWT (°F)	LWT (°F)	AMBIENT W.B. (°F)	MAX MOTOR HP	REMARKS
CT-1	350	92	82	78	15	

DEKALB COUNTY SCHOOL DISTRICT
E.L. MILLER ELEMENTARY SCHOOL UPGRADE
#354-423
 919 MARTIN ROAD, STONE MOUNTAIN, GA 30088

PROJECT NO.	20046
10 ISD PACKAGE	11/06/2020
10 CD 30% PKG	12/04/2020
10 CD 30% PKG REV	09/28/2021
10 CD 30% PKG	11/24/2021
10 PERMIT SET	12/17/2021
10 CD 100% PKG	01/17/2022

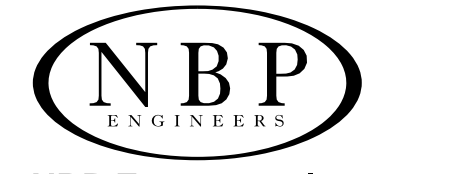


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CDA#PEF-000714
CDA# Expires: 6/30/2022

REV	DATE	BY	DESCRIPTION
4	12-04-2023		REV 6 IT ROOM

SHEET TITLE
SCHEDULES - HVAC

SHEET NUMBER
M002



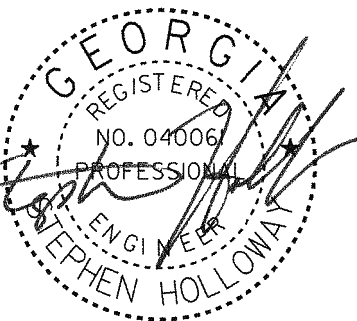
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919 MARTIN ROAD, STONE MOUNTAIN, GA 30088

PROJECT NO.	20046
10 ISD PACKAGE	11/06/2020
10 CD 30% PKG	12/04/2020
10 CD 30% PKG REV	09/28/2021
10 CD 30% PKG	11/24/2021
10 PERMIT SET	12/17/2021
10 CD 100% PKG	01/17/2022



NBP Engineers, Inc.
COMP.PE-000774
CEN. Expires: 6/30/2022

12/04/2023	
4	REV 6 IT ROOM

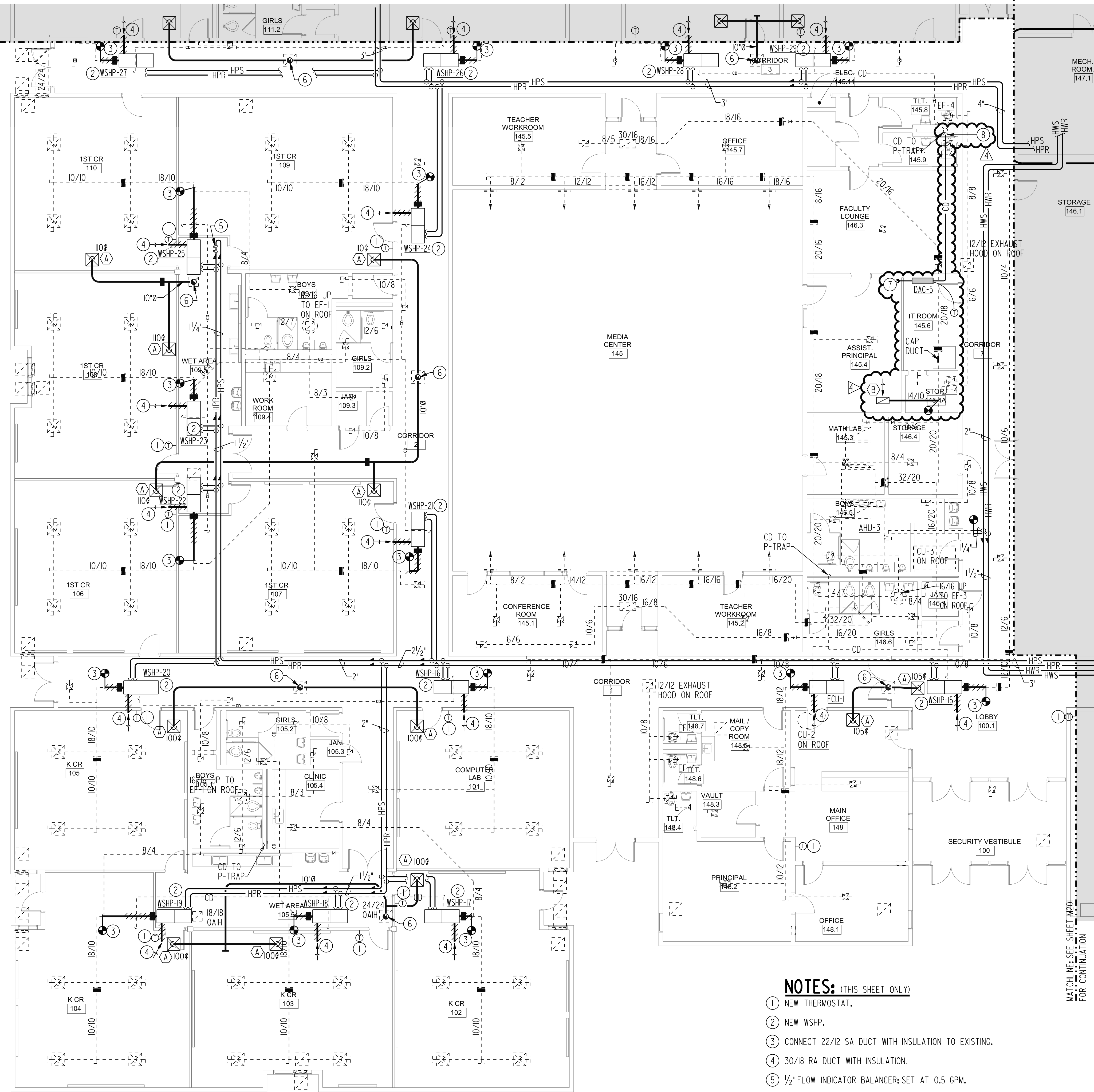
SHEET TITLE
LEVEL 1 - PART 2 - NEW WORK - HVAC

SHEET NUMBER
M202

MATCHLINE SEE SHEET M203 FOR CONTINUATION

MATCHLINE SEE SHEET M201 FOR CONTINUATION

MATCHLINE SEE SHEET M201 FOR CONTINUATION

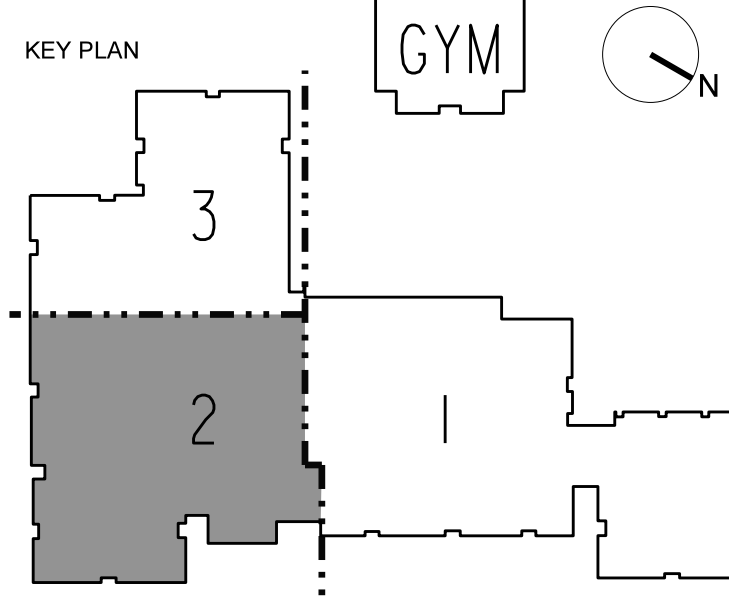


NOTES: (THIS SHEET ONLY)

- 1 NEW THERMOSTAT.
- 2 NEW WSP.
- 3 CONNECT 22/12 SA DUCT WITH INSULATION TO EXISTING.
- 4 30/18 RA DUCT WITH INSULATION.
- 5 1/2" FLOW INDICATOR BALANCER; SET AT 0.5 GPM.
- 6 10"8 UP THRU EXISTING ROOF PENETRATION.
- 7 ROUTE RL/RS PIPING UP TO ROOF THRU EXISTING ROOF PENETRATION.
- 8 PUMP CONDENSATE TO HUB DRAIN.

LINE LEGEND	
	POINT OF CONNECTION
	EXISTING TO REMAIN
	NEW WORK

LEVEL 1 - PART 2 - NEW WORK - HVAC
SCALE: 1/8" = 1'-0"



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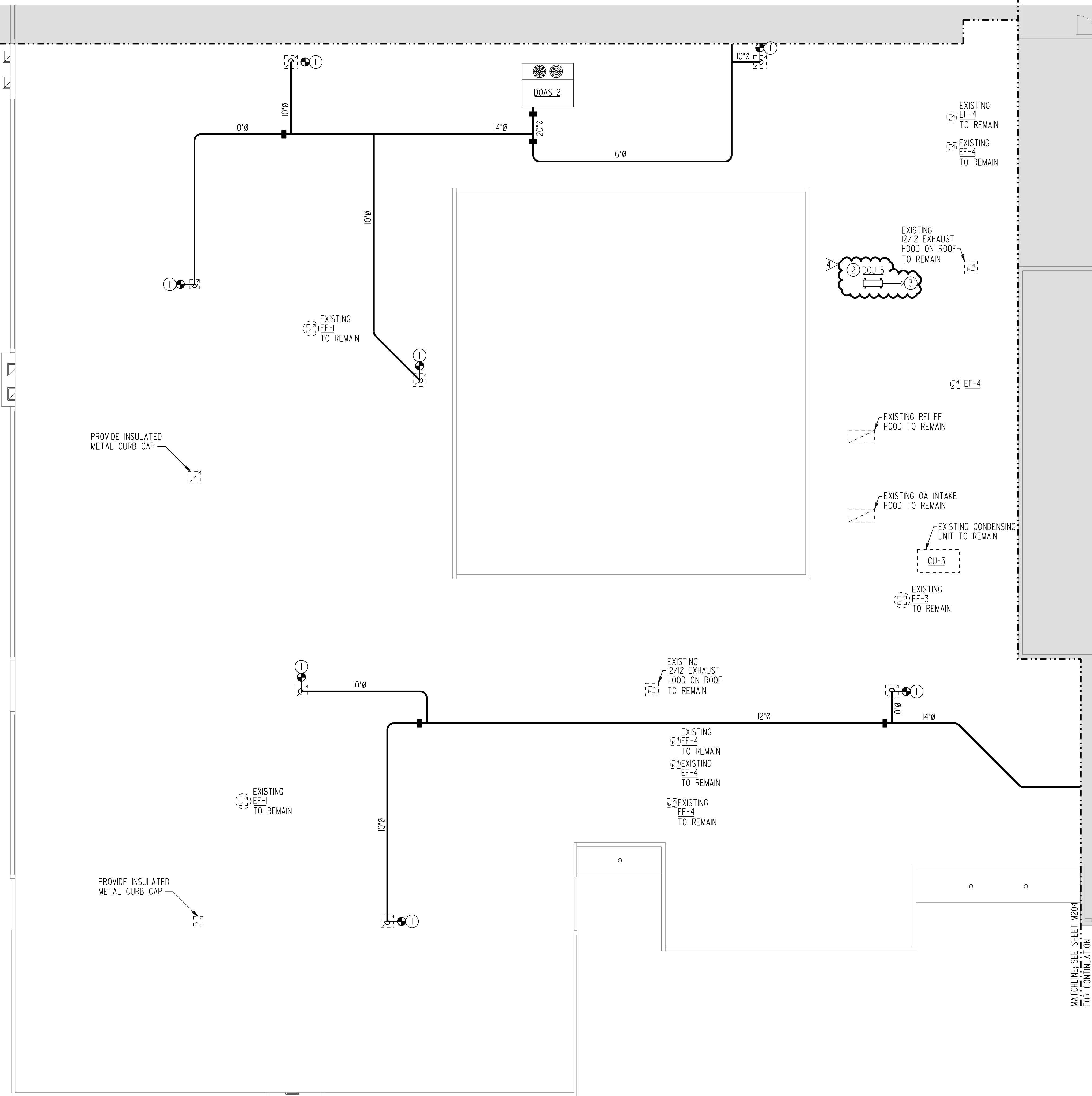
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17

NOTES: (THIS SHEET ONLY)
 ① 10'Ø DOWN THRU EXISTING ROOF OPENING.
 ② INSTALL ON EXISTING ROOF SUPPORT.
 ③ ROUTE RL/RS LINE DOWN THRU EXISTING ROOF PENETRATION.

MATCHLINE: SEE SHEET M206 FOR CONTINUATION

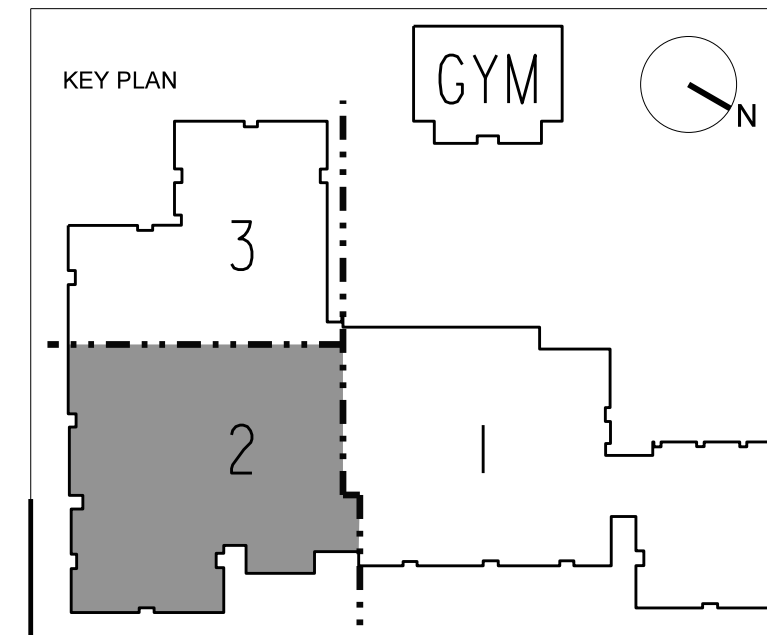
MATCHLINE: SEE SHEET M204 FOR CONTINUATION



① LEVEL 2 - PART 2 - NEW WORK - HVAC
 SCALE: 1/8" = 1'-0"

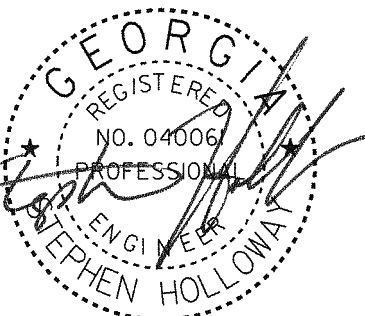


LINE LEGEND	
	POINT OF CONNECTION
	EXISTING TO REMAIN
	NEW WORK



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#354-423
 919 MARTIN ROAD, STONE MOUNTAIN, GA 30088

PROJECT NO.	20046
ISD PACKAGE	11/06/2020
CD 30% PKG	12/04/2020
CD 30% PKG REV	09/28/2021
CD 30% PKG	11/24/2021
PERMIT SET	12/17/2021
CD 100% PKG	01/17/2022



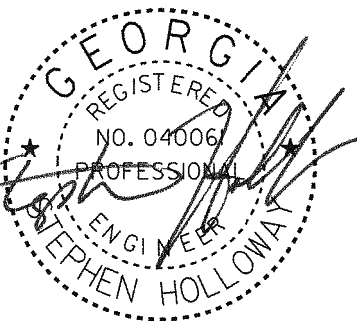
NBP Engineers, Inc.
 COMP-PER-000714
 CDA - Expires: 6/30/2022

12-04-2023	
REV 6 IT ROOM	
4	

SHEET TITLE
LEVEL 2 - PART 2 - NEW WORK - HVAC

SHEET NUMBER
M205

PROJECT NO.	20046
10 SD PACKAGE	11/06/2020
10 CD 30% PKG	12/04/2020
10 CD 30% PKG REV	09/28/2021
10 CD 30% PKG	11/24/2021
10 PERMIT SET	12/17/2021
10 CD 100% PKG	01/17/2022



NBP Engineers, Inc.
COMP. 000714
CEN. Expires: 6/30/2022

12-04-2023	
4 REV 6 IT ROOM	

SHEET TITLE
LEVEL 1 - PART 2 - DEMOLITION - HVAC

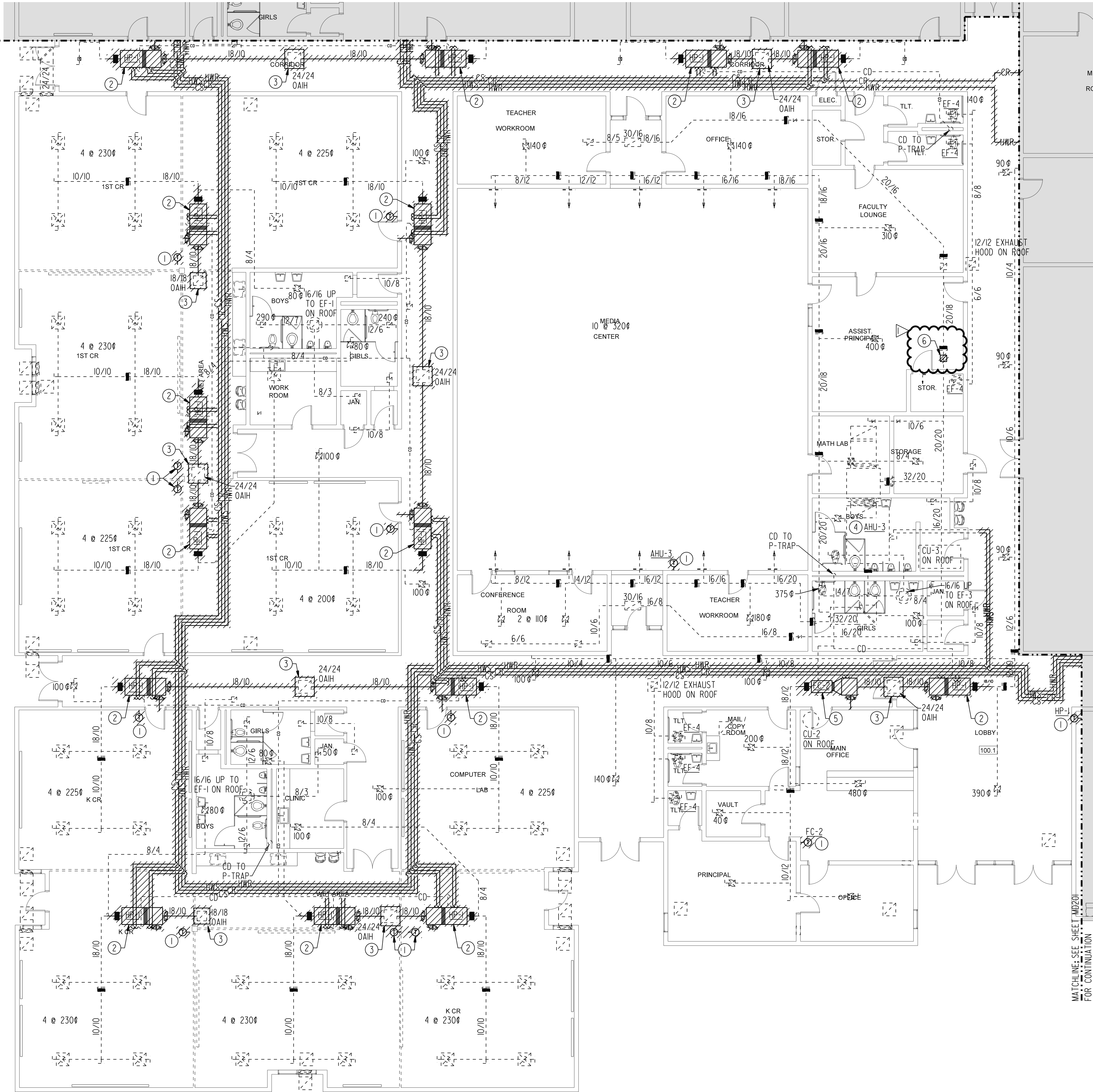
SHEET NUMBER
MD202

- NOTES:** (THIS SHEET ONLY)
- 1 REMOVE EXISTING THERMOSTAT.
 - 2 REMOVE EXISTING WATER SOURCED HEAT PUMP.
 - 3 REMOVE EXISTING OA INTAKE HOOD, OPENING THRU ROOF TO REMAIN.
 - 4 EXISTING AIR HANDLER TO REMAIN.
 - 5 REMOVE EXISTING SPLIT SYSTEM FAN COIL.
 - 6 REMOVE RETURN AIR GRILLE AND CAP DUCT.

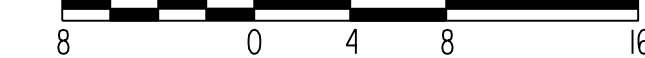
MATCHLINE SEE SHEET MD203 FOR CONTINUATION

MATCHLINE SEE SHEET MD201 FOR CONTINUATION

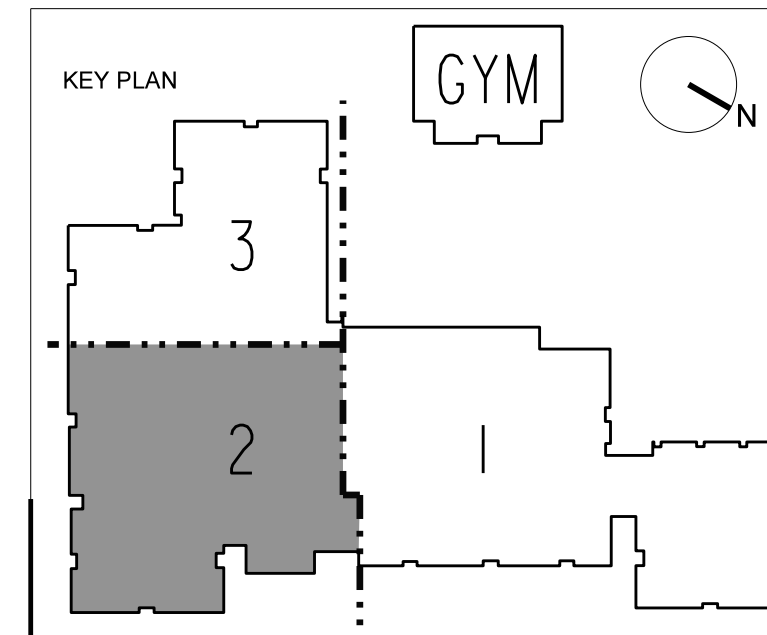
MATCHLINE SEE SHEET MD201 FOR CONTINUATION



1 LEVEL 1 - PART 2 - DEMOLITION - HVAC
SCALE: 1/8" = 1'-0"



LINE LEGEND	
	EXISTING TO REMAIN
	DEMOLITION



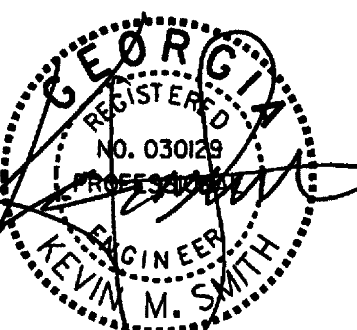
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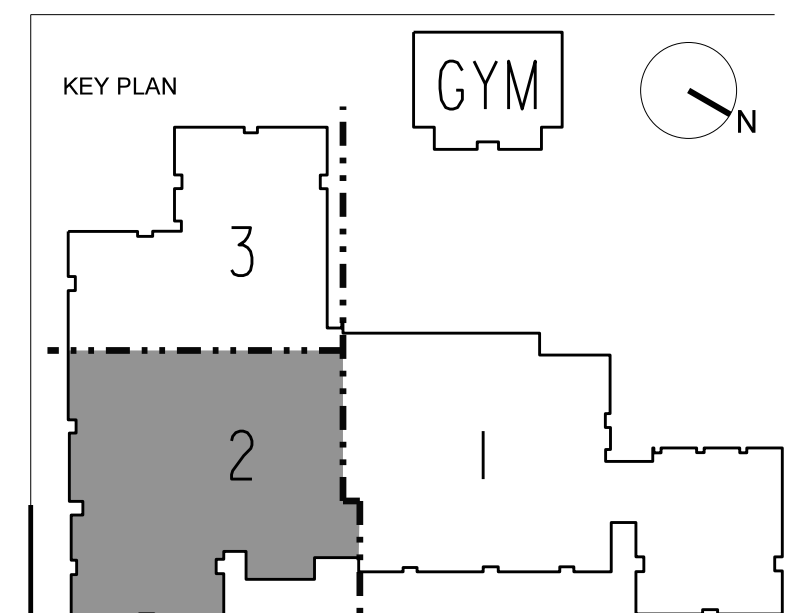
PROJECT NO.	20046
100% CD PACKAGE	11/06/2020
90% CD PACKAGE	12/04/2020
80% CD PACKAGE REV	09/28/2021
70% CD PACKAGE	11/24/2021
PERMIT SET	12/17/2021
100% CD PACKAGE	01/17/2022



NBP Engineers, Inc.
COMP:PF000714
CON: Exp:06/03/2022

12-04-2023	
4	REV 6 IT ROOM

SHEET TITLE	LEVEL 1 - PART 2 - NEW WORK - LIGHTING
SHEET NUMBER	E202



LINE LEGEND	
	EXISTING TO REMAIN
	NEW WORK

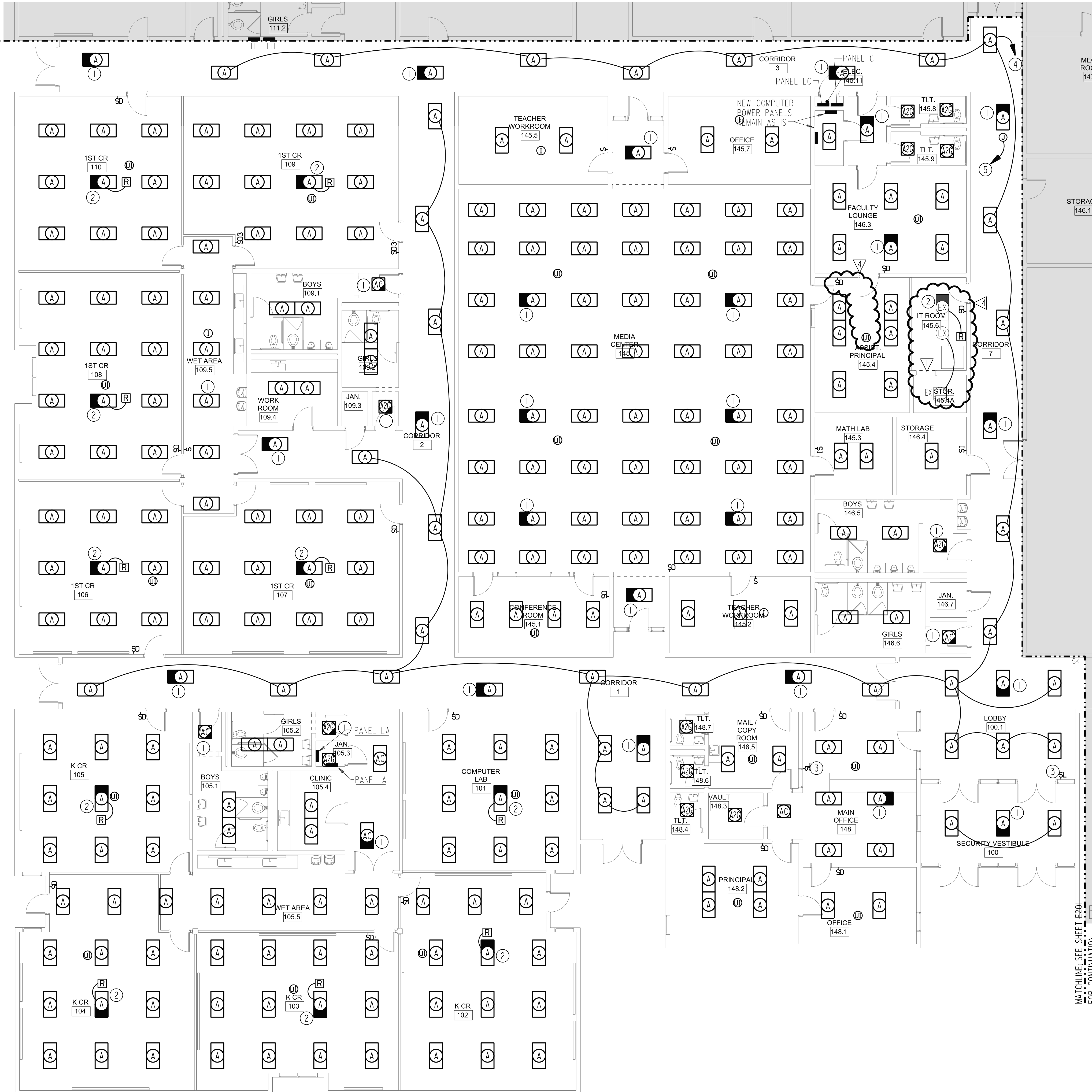
LEVEL 1 - PART 2 - NEW WORK - LIGHTING
SCALE: 1/8" = 1'-0"



- NOTES:** (THIS SHEET ONLY)
- UNSWITCHED EGRESS LIGHT POWERED FROM NEW GENERATOR CIRCUIT.
 - SWITCHED EGRESS FIXTURE CONNECTED THRU UL 924 RELAY TO GENERATOR CIRCUIT. RELAY RECEIVES POWER FROM THE NEW GENERATOR CIRCUIT POWERING UNSWITCHED FIXTURES IN CORRIDOR.
 - NEW LOW VOLTAGE SWITCH TURNS ON ALL CORRIDOR LIGHTS. CONNECT VIA CAT 5+ CABLE TO RELAYS AT LIFE SAFETY PANEL SHOWN ON E201.
 - USE 3#10 AWG MC CABLE TO REPOWER THE CORRIDOR LIGHTS SHOWN THROUGH A NEW RELAY AND TIMECLOCK AS DESCRIBED ON 5/E701. THE EXISTING CIRCUIT CAN BE REUSED, BUT CERTAIN FIXTURES WILL BE LEFT ON 24/7, WHILE THE REST OF THEM ARE TO BE ROUTED THROUGH A NEW RELAY PANEL AND SWITCH IN THE PRINCIPALS OFFICE.
 - USE 3#10 MG CABLE TO POWER ALL SWITCHED AND UNSWITCHED EGRESS LIGHTS SHOWN ON THIS SHEET. POWER FROM EXISTING GENERATOR PANEL EHS.

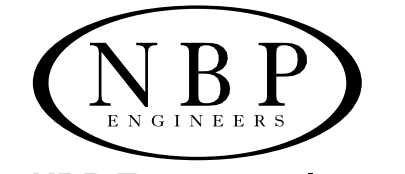
- GENERAL NOTES:** (THIS SHEET ONLY)
- ALL CORRIDOR LIGHTS ARE CURRENTLY UNSWITCHED SERVED FROM THE NEW GENERATOR RECENTLY INSTALLED AS PART OF ANOTHER PROJECT. THE DESIGN INTENT IS TO PULL A NEW GENERATOR CIRCUIT DOWN EACH CORRIDOR TO POWER THE NEW SWITCHED EGRESS FIXTURE AND RELAY IN EACH CLASS. THIS CIRCUIT WILL ALSO POWER ALL LIGHTS NOTED AS "UNSWITCHED EGRESS" AND EXISTING EXIT SIGNS. ANOTHER LIGHTING CIRCUIT WILL BE PULLED TO THE SWITCHED CORRIDOR LIGHTS AND ROUTED THROUGH A NEW RELAY PANEL AS DESCRIBED ON 5/E701.
 - EACH CLASSROOM RECEIVES A NEW UL 924 RELAY AND ON/OFF/UP/DOWN DIGITAL DIMMER SWITCH AND OCC SENSOR AS DESCRIBED ON E701.
 - THE REMAINING UNSWITCHED CORRIDOR LIGHT CIRCUITS WILL BE ROUTED THRU NEW RELAYS AND TIMECLOCK AS DESCRIBED ON 5/E701.
 - EXISTING EXIT SIGNS REMAIN AS IS AND ARE NOT SHOWN ON THIS PLAN. PROVIDE TEN (10) NEW EXIT SIGNS TO REPLACE DAMAGED SIGNS THROUGH THE BUILDING.
 - REUSE EXISTING LIGHT CIRCUIT IN ANY SPACE OUTSIDE THE CORRIDOR.
 - ALL NEW LIGHT FIXTURES SHOWN AS EGRESS SHALL HAVE SUPPORT WIRES LOCATED ON DIAGONAL CORNERS OF THE FIXTURE TO STRUCTURE. DO NOT SUPPORT EGRESS FIXTURES ONLY FROM GRID.
 - PRIOR TO ORDERING FIXTURES CONTRACTOR TO WALK THE SITE AND NOTE ANY SPACES WITH GYP CEILINGS. NOTIFY THE ARCHITECT IF FIXTURE TYPES NOTED DO NOT MATCH THE CEILING TYPES.

MATCHLINE: SEE SHEET E203 FOR CONTINUATION



MATCHLINE: SEE SHEET E201 FOR CONTINUATION

MATCHLINE: SEE SHEET E201 FOR CONTINUATION



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10 CD 30% PKG	11/24/2021
10 PERMIT SET	12/17/2021
10 CD 100% PKG	01/17/2022



NBP Engineers, Inc.
COMP:PEF000714
CON: Expired: 6/30/2022

12-04-2023	
4 REV 6 IT ROOM	

SHEET TITLE
LEVEL 1 - PART 2 - NEW WORK - SYSTEMS/POWER

SHEET NUMBER

E402

- GENERAL NOTES:** (THIS SHEET ONLY)
- NEW FIRE ALARM SHALL BE INSTALLED AND OPERATIONAL BEFORE OLD SYSTEM IS REMOVED. ONCE NEW SYSTEM IS OPERATIONAL REMOVE ALL OLD DEVICES, CONDUIT AND BACKBOXES WHERE ACCESSIBLE. WHERE OLD BOXES ARE FLUSH MOUNTED PROVIDE BLANK COVERS.
 - EACH WSHP TO BE REMOVED AND REPLACED. PROVIDE A NEW 30/3/1 FUSED DISCONNECT ADJACENT. TAP FEED AT EACH UNIT AS SHOWN ON DRAWINGS, ROUTING TO THE PANEL INDICATED. SIZE FUSE PER MANUFACTURERS MOCP.
 - SUBMIT A COORDINATED POWER/WIRING LETTER INDICATING MECHANICAL EQUIPMENT MOCP VS THE BREAKER SHOWN FOR NEW HVAC EQUIPMENT PRIOR TO ORDERING PANELS.
 - FIRE ALARM BASIS OF DESIGN IS THE SIMPLEX 4100 ES WITH ADDRESSABLE NOTIFICATION DEVICES. EQUALS MAY BE ACCEPTED FROM EST AND NOTIFIER SO LONG AS THE PERFORMANCE MATCHES THE SIMPLEX SYSTEM.

- NOTES:** (THIS SHEET ONLY)
- MOUNT PANELS BACK TO BACK WITH UNISTRUT SUPPORTS BETWEEN FLOOR AND CEILING.
 - PROVIDE NEW BREAKER IN NEW MDS AS SHOWN IN THE PANEL SCHEDULE. PROVIDE 30A/3P/1 FUSED DISCONNECT AT EACH WSHP TAP.
 - PROVIDE TWO GANG RACEWAY FOR POWER TO THE NEW SMARTBOARD. ONE GANG FOR POWER FROM NEAREST 120V PANEL, THE OTHER GANG TO ABOVE THE CEILING FOR LOW VOLTAGE CONNECTION. SMART BOARD POWER ALSO POWERS THE PROJECTOR.

MATCHLINE: SEE SHEET E403 FOR CONTINUATION



REMOVE OLD DUCTLESS SPLIT. EXTEND POWER ABOVE THE CEILING OVER TO THE NEW DUCTLESS SPLIT LOCATION AND POWER NEW UNIT.

REUSE THE EXISTING CIRCUIT FROM THE DEMOLISHED DUCTLESS SPLIT TO POWER THE NEW UNIT.

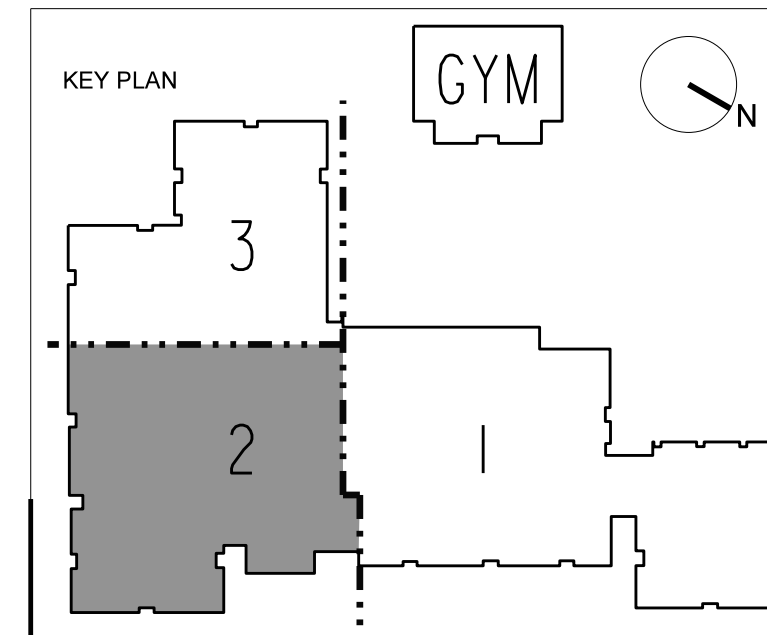
EXISTING POWER REMAINS FOR THE IT RACK.

MATCHLINE: SEE SHEET E401 FOR CONTINUATION

LEVEL 1 - PART 2 - NEW WORK - SYSTEMS/POWER
SCALE: 1/8" = 1'-0"



LINE LEGEND	
	EXISTING TO REMAIN
	NEW WORK



Electrical Contractor Incorporated
 8141-D Technology Drive, Covington, GA 30014
 Office: 770-788-8082 ~ Fax: 770-788-9738

JOB #: 2214
 C.O. PROPOSAL #: 2214-10R
 DATE: 1/3/2024
 JOB: EL Miller Major

CHANGE ORDER PROPOSAL

To:
 Centennial
 3200 Cobb Galleria Parkway
 Atlanta, Ga Suite 210 30339

PAGE#: 1 OF 1

COST TOTAL: \$4,460.00

ACCEPTED: [] REJECTED: []
 COMPLETED: [] % BILLED: []

DESCRIPTION:

Per M. Wilson 12/19/23, ECI to provide IT room conversion electrical; including any power, lighting, fire alarm, and intercom.

MATERIAL

Qty	Description	Unit Price	Per	Extension
1	material from breakout sheet	597.53	E	\$597.53
1	light quote	250.00	E	\$250.00
1	freight	100.00	E	\$100.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00

Sutotal Material:		\$947.53
Sales Tax:	8.00%	\$75.80
Material Total:		\$1,023.33
Total Labor		\$2,751.60
Bond Accrue:		\$53.44
Administrative:		\$50.00
Subtotal:		\$3,878.37
Profit:	15%	\$581.76
Subtotal:		\$4,460.13
Subcontractors:		\$0.00
Subcontractor's Profit:		\$0.00
GRAND TOTAL:		\$4,460.13

Labor Rate: \$60.00

NOTE: Quote good for 30 days.

	A	B	C	D	E	F	G	H	I
1	Item #	Item Name	Quantity	Price 1	U	Ext Price 1	NECA 2	U	NECA 2 Ext
2	Label Set: IT ROOM CHANGE OVER					\$597.53			45.86
3						\$0.00			4.00
4		TIE UP AND REINSTALLL SYSTEMS	1.00	\$0.00		\$0.00	4.00	E	4.00
5	CCode: Branch Rough					<u>\$172.79</u>			<u>14.24</u>
6		1/2 EMT CONDUIT	115.00	\$61.93	C	\$71.22	5.60	C	6.44
7		1/2 EMT CONN S/C	4.00	\$29.47	C	\$1.18	0.31	E	1.24
8		1/2 EMT COUPL S/C	11.50	\$34.33	C	\$3.95	0.15	E	1.73
9		ECI HILTI ONE HOLE	11.50	\$0.40	E	\$4.60	4.00	C	0.46
10		512 CADDY T-BAR BOX HANGER	1.00	\$764.02	C	\$7.64	0.00	C	0.00
11		3/4 BOTTOM MTD CONDUIT CLIP	11.50	\$216.60	C	\$24.91	6.25	C	0.72
12		1/2 LIQUIDTIGHT FLEX	12.00	\$164.84	C	\$19.78	5.00	C	0.60
13		1/2 LIQUIDTIGHT FLEX CONN	4.00	\$531.73	C	\$21.27	0.18	E	0.72
14		ECI HILTI 20OZ FIRESTOP	0.06	\$29.00	E	\$1.67	3.00	E	0.17
15		4/S BOX 1-1/2" DEEP	4.00	\$163.57	C	\$6.54	35.00	C	1.40
16		4/S 1-1/4" DEEP 1G MUD RING	1.00	\$423.21	C	\$4.23	9.00	C	0.09
17		4/S BLANK COVER	2.00	\$69.14	C	\$1.38	9.00	C	0.18
18		4/S EXTENSION RING	0.58	\$333.64	C	\$1.92	25.00	C	0.14
19		4/0 BOX 1-1/2 DP 1/2"	1.00	\$249.88	C	\$2.50	35.00	C	0.35
20	CCode: Hangers/Anchors					<u>\$0.14</u>			<u>0.02</u>
21		1/4X1 FEND WASH SS	1.73	\$7.87	C	\$0.14	0.88	C	0.02
22	CCode: Trim Devices/Plates					<u>\$0.55</u>			<u>0.00</u>
23		10-32 GROUND SCREW	1.00	\$55.27	C	\$0.55	0.00	C	0.00
24	CCode: Lighting Fixtures					<u>\$0.00</u>			<u>13.40</u>
25		DIMMER W/ REMOTE OCC SENSOR SWITCH	1.00	\$0.00	Q	\$0.00	1.50	E	1.50
26		CEILING INFRARED OCC SENSOR	1.00	\$0.00	Q	\$0.00	1.50	E	1.50
27		DISCONNECT/RECONNECT LIGHTS	8.00	\$0.00	Q	\$0.00	1.30	E	10.40
28	CCode: Disc/Safety Switches					<u>\$350.00</u>			<u>2.00</u>
29		30/3/F N1 250V HD	1.00	\$175.00	E	\$175.00	0.00		0.00
30		30/3/F 3R 250V HD	1.00	\$175.00	E	\$175.00	2.00	E	2.00
31	CCode: Panels/Loadcenters					<u>\$0.00</u>			<u>6.50</u>
32		EF UNIT	2.00	\$0.00	Q	\$0.00	1.00	E	2.00
33		DCU	1.00	\$0.00	Q	\$0.00	2.00	E	2.00
34		DACU	1.00	\$0.00	Q	\$0.00	2.50	E	2.50
35	CCode: Data CU Cable					<u>\$23.74</u>			<u>1.96</u>
36		CAT5E 24GA CABLE	112.00	\$212.00	M	\$23.74	17.50	M	1.96
37	CCode: Branch Wire					<u>\$50.31</u>			<u>3.74</u>
38		12 THHN CU SOLID	362.25	\$135.62	M	\$49.13	9.00	M	3.26
39		IDEAL 452 RED WIRE NUT	6.00	\$196.10	M	\$1.18	0.08	E	0.48
40						\$597.53			45.86

CED NORCROSS

5255 BROOK HOLLOW PARKWAY
NORCROSS GA 30071
TEL: 770 242-7474 FAX: 770 242-5896

CONTACT: STEVE HENRY

QUOTE FOR: ELECTRICAL CONTRACTOR INC.

ACCT #: FG-74497 ELECTRICAL CONTRACTOR

8141 TECHNOLOGY DR #D
COVINGTON, GA 30014
TEL: (770) 788-8082

QUOTATION		PAGE 001 OF 001	
QUOTE #	DATE	REV #	REV DATE
1092554	12/27/23	001	12/27/23
QUOTE EXPIRES		PREPARED BY	
01/26/2024		SH	
SLS		INSL	
8888		8888	
FOB		FREIGHT	
SHIPPING POINT		PREPAID	

CUS PO #:
JOB NAME: EL MILLER

LN	QTY	MFR	CATALOG #	DESCRIPTION	PRICE	UOM	EXT AMT
01	1	WATT	DSW301W	DUAL TECH 120/277V SENSOR	75.00	E	75.00
02	1	WATT	DT305	24VDC OCCUPANCY SENSOR	125.00	E	125.00
03	1	WATT	BZ150	24VDC UNIV VOLT PWR PCK	50.00	E	50.00

MDSE: 250.00
TAX: 17.50
TOTAL: 267.50

PLEASE NOTE: THIS IS NOT AN OFFER TO CONTRACT, BUT MERELY A QUOTATION OF CURRENT PRICES FOR YOUR CONVENIENCE AND INFORMATION. ORDERS BASED ON THIS QUOTATION ARE SUBJECT TO YOUR ACCEPTANCE OF THE TERMS AND CONDITIONS LOCATED AT SALES.OUR-TERMS.COM, WHICH WE MAY CHANGE FROM TIME TO TIME WITHOUT PRIOR NOTICE. WE MAKE NO REPRESENTATION WITH RESPECT TO COMPLIANCE WITH JOB SPECIFICATIONS.

Nailed-It Contracting
 5307 Arbor Hill Road
 Canton, GA 30115 US
 678-951-4594
 csw@nailed-itcontracting.com

Estimate



ADDRESS
Centennial Contractors Enterprises, Inc 1236 West Pkwy Augusta, Augusta, GA 30909 JOB: E.L. Miller ES - IT Room Renovation

SHIP TO
Centennial Contractors Enterprises, Inc 1236 West Pkwy Augusta, Augusta, GA 30909

ESTIMATE #	DATE	EXPIRATION DATE
1038	12/22/2023	01/22/2024

QTY	DESCRIPTION	AMOUNT
15	<ul style="list-style-type: none"> - Install sticky plastic floor protector on carpet in work area - Open existing ceiling up to frame and hang new wall to deck - Build wall to deck w/ 3 5/8" 20g metal studs 16" oc, slotted top track, w/ R13 insulation and 5/8" rock up to 16' and box in I beam w/ top of wall - Install ceiling wall angle, grid and tiles on both sides of new wall - Clean up and delivery <p>Exclusions:</p> <ul style="list-style-type: none"> No Parking Fees Included No Unforeseen Conditions Included No Work on Existing Fire Walls Included No Work After Normal Working Hours Included (M-F 7 A.M - 5 P.M. normal working hours) No Laborers Provided for Cleaning After Other Contractors Included No Structural or Wood Framing Included No Doors, Windows or Frames Included No Mold Remediation Included No Handling of Glass/Mirrors Included No Electrical, Plumbing, or HVAC included No Millwork Included No Level 5 Finishes on Drywall Included No Lead Lined Rock Included No Installation of Accessories Included No Steel Posts/ Stabilizers Included No FRP Included No Floor or Wall Protection No Removal of Wall Paper Included No Painting/ Staining Included No Blocking Included No Lift/ Boom Fees Included No Dumpster Fees Included No Permit Fees Included 	3,750.00

SUBTOTAL	3,750.00
TAX	0.00
TOTAL	\$3,750.00

Accepted By

Accepted Date



Change Order Request

Date of Proposal: January 9, 2024

Proposal Submitted To: **Centennial Contractors Enterprises, Inc.**

Attention: Matt

Regarding: EL Miller ES – Change Order Request

Specifications: The equipment to be provided by Summit Fire & Security as part of this Proposal, as well as design and installation services, are sometimes collectively referred to in this Proposal as the "Project". NFPA 13, together with the Specifications described in those certain plans dated 12-12-21.

Proposed Change Order

1. Modify Sprinkler in Principle's Office Area for new IT Closet. **NEED APPROVAL**
 - Labor: \$1,200.00
 - Material: \$150.00
 - Total: **\$1,350.00**

Completion of the Project: Summit Fire & Security offers to provide to Owner the equipment, supplies and materials, as well as the design and installation services and labor to complete the Project, as described in the Specifications. This Proposal shall be null and void, at Summit Fire & Security's option, if Summit Fire & Security does not receive a signed acceptance of this Proposal by Owner after 30 days. In order to guarantee pricing, Owner may be required to pay for materials at the time of acceptance of this Proposal.

General Conditions: The General Conditions attached to this Proposal are a part of this Proposal. Upon acceptance of this Proposal by Owner, the General Conditions will be a part of the contract between Summit Fire & Security and Owner.

SUMMIT FIRE & SECURITY LLC:

By:



Signature

Robert Cleckler

Print Name

Phone: (678) 378-6922

OWNER ACCEPTANCE OF PROPOSAL

Summit Fire & Security's Proposal is hereby accepted and agreed to by Owner. Owner acknowledges that Owner received and read the Proposal and the Attached General Conditions. Upon acceptance by Owner, this Proposal, along with the attached General Conditions, will be a binding contract between Summit Fire & Security and Owner.

OWNER:

By:

Signature

Print Name

Date

Print Name

Date

RE: E.L. Miller ES - IT Room Renovation

Rich Thorpe <richt@aaacommercialfloors.com>

Tue 1/9/2024 5:13 PM

To: Wilson, Matthew <MWilson@cce-inc.com>

Matt,

The price to replace the cove base in those rooms is \$200.

This will cover the material and one man to come install.

Thanks

Rich

From: Wilson, Matthew [mailto:MWilson@cce-inc.com]

Sent: Tuesday, January 9, 2024 5:04 PM

To: Rich Thorpe

Subject: Fw: E.L. Miller ES - IT Room Renovation

Good Morning Rich,

The owners are looking to close off room 145.6 from Room 145.4. Can you price the additional baseboard needed for the new wall?

Attached are the updated drawings for the area.

Matthew Wilson

Assistant Project Manager

Centennial Contractors Enterprises, Inc.

3200 Cobb Galleria Parkway, Suite 210

Atlanta, GA 30339

Office: 770.613.2999

Mobile: 470.392.2773

MWilson@cce-inc.com

www.cce-inc.com

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POTENTIAL CHANGE ORDER (PCO) REQUEST

School Name:	E.L. Miller ES	Date:	December 8, 2023
Project Name:	GC Services for EL Miller MSBR	Project Number:	354-35
Title:	Replace Condensate Drain Lines	PCO #:	026

Description of Work:

Per RFI #67, the existing condensate drain hubs are located at an elevation higher than the drain ports on the new WSHPs. Pricing includes replacing all condensate drains to the nearest Janitor's Closet down the wall into the mop sink in each closet including insulation. Condensate pipe shall be insulated PVC in the corridors, and shall be insulated copper in the classrooms, lobby, and down the walls to the mop sink.

A. Subcontractor Cost of the Work

Conditioned Air	\$	31,258.86	
	\$	-	
	\$	-	
	\$	-	
	\$	-	
	\$	-	
			Subtotal A: \$ 31,258.86

B. CONTRACTOR Fee: (As per Section 11.7.1.2) - **5% subcontractor work** **Subtotal B:** \$ 1,562.94

C. CONTRACTOR Cost of the Work:

Payroll Costs (See attached supporting documentation.)	\$	-	
Materials and Equipment (See attached supporting documentation.)	\$	-	
Consultant Costs (See attached supporting documentation.)	\$	-	
Self-Performed Costs (See attached supporting documentation.)			
			Subtotal C: \$ -

D. P&P Bond - 0.4% of Total Subs Cost of Change **Subtotal D:** \$ 131.81

E. CONTRACTOR Fee: - 10% self performed **Subtotal E:** \$ -

Total = (A + B + C + D + E) Total: \$ 32,953.61

The proposal would Increase Decrease the Milestones and/or Contract Time by _____ calendar days.

The proposal does NOT affect the Milestones and/or Contract Time.

 Contractor Signature

Operation Manager

 Title

December 8, 2023

 Date



POTENTIAL CHANGE ORDER (PCO) REQUEST

School Name:	E.L. Miller ES	Date:	December 5, 2023
Project Name:	GC Services for EL Miller MSBR	Project Number:	354-35
Title:	Cooling Tower Power Requirements	PCO #:	028

Description of Work:

Per RFI 66, there were no electrical power requirements shown for the cooling tower and associated work such as heat trace. Proposed change order is based on Drawing E602 Revision 3 provided as an answer to RFI 66.

A. Subcontractor Cost of the Work

Electrical Contractor Incorporated	\$	14,160.87	
	\$	-	
	\$	-	
	\$	-	
	\$	-	
	\$	-	
		Subtotal A:	\$ 14,160.87

B. CONTRACTOR Fee: (As per Section 11.7.1.2) - **5% subcontractor work** **Subtotal B:** \$ 708.04

C. CONTRACTOR Cost of the Work:

Payroll Costs (See attached supporting documentation.)	\$	-	
Materials and Equipment (See attached supporting documentation.)	\$	-	
Consultant Costs (See attached supporting documentation.)	\$	-	
Self-Performed Costs (See attached supporting documentation.)			
		Subtotal C:	\$ -

D. P&P Bond - 0.4% of Total Subs Cost of Change **Subtotal D:** \$ 59.71

E. CONTRACTOR Fee: - 10% self performed **Subtotal E:** \$ -

Total = (A + B + C + D + E) **Total:** \$ 14,928.62

The proposal would Increase Decrease the Milestones and/or Contract Time by _____ calendar days.

The proposal does NOT affect the Milestones and/or Contract Time.

 Contractor Signature

Operation Manager

 Title

December 5, 2023

 Date

Electrical Contractor Incorporated
 8141-D Technology Drive, Covington, GA 30014
 Office: 770-788-8082 ~ Fax: 770-788-9738

JOB #: 2214
 C.O. PROPOSAL #: 2214-09
 DATE: 12/5/2023
 JOB: EL Miller Major

CHANGE ORDER PROPOSAL

To:
 Centennial
 3200 Cobb Galleria Parkway
 Atlanta, Ga Suite 210 30339

PAGE#: 1 OF 1

COST TOTAL: \$14,161.00

ACCEPTED: [] REJECTED: []
 COMPLETED: [] % BILLED: []

DESCRIPTION:

Per RFI 66, also known as Revision 3, provided 11.27.23, ECI to provide updated power requirements for Cooling Tower and Main Electrical.

MATERIAL

Qty	Description	Unit Price	Per	Extension
1	material from breakout sheet	3187.84	E	\$3,187.84
1	gear quote	1338.75	E	\$1,338.75
1	freight	125.00	E	\$125.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00

Sutotal Material:		\$4,651.59
Sales Tax:	8.00%	\$372.13
Material Total:		\$5,023.72
Total Labor		\$7,070.40
Bond Accrue:		\$169.68
Administrative:		\$50.00
Subtotal:		\$12,313.80
Profit:	15%	\$1,847.07
Subtotal:		\$14,160.87
Subcontractors:		\$0.00
Subcontractor's Profit:		\$0.00
GRAND TOTAL:		\$14,160.87

Labor Rate: \$60.00

NOTE: Quote good for 30 days.

	A	B	C	D	E	F	G	H	I
1	Item #	Item Name	Quantity	Price 1	U	Ext Price 1	NECA 2	U	NECA 2 Ext
2	Label Set: rfi #66					\$3,187.84			117.84
3									
4	CCode: Branch Rough					\$564.41			33.17
5		1/2 EMT CONDUIT	64.75	\$55.01	C	\$35.62	5.60	C	3.63
6		1 EMT CONDUIT	188.29	\$163.50	C	\$307.85	6.80	C	12.80
7		1/2 EMT CONN S/C	2.00	\$29.47	C	\$0.59	0.31	E	0.62
8		1 EMT CONN S/C	8.00	\$62.39	C	\$4.99	0.43	E	3.44
9		1/2 EMT COUPL S/C	6.47	\$34.33	C	\$2.22	0.15	E	0.97
10		1 EMT COUPL S/C	18.83	\$70.01	C	\$13.18	0.20	E	3.77
11		HILTI ONE HOLE	6.47	\$0.40	E	\$2.59	4.00	C	0.26
12		1/2 LOCKNUT	2.00	\$0.05	E	\$0.10	0.12	E	0.24
13		3/4 BOTTOM MTD CONDUIT CLIP	6.47	\$216.60	C	\$14.02	6.25	C	0.40
14		1/2 PVC 40	23.84	\$59.99	C	\$14.30	5.10	C	1.22
15		1/2 PVC 40 90 ELBOW	2.00	\$89.83	C	\$1.80	0.25	E	0.50
16		1/2 PVC MALE TERM	2.00	\$19.71	C	\$0.39	0.17	E	0.34
17		1/2 PVC COUPLING	4.00	\$14.84	C	\$0.59	5.10	C	0.20
18		1 LIQUIDTIGHT FLEX	20.00	\$388.07	C	\$77.61	9.30	C	1.86
19		1 LIQUIDTIGHT FLEX CONN	8.00	\$1,064.21	C	\$85.14	0.30	E	2.40
20		4/S BOX 1-1/2" DEEP	1.00	\$163.57	C	\$1.64	35.00	C	0.35
21		4/S BLANK COVER	1.00	\$69.14	C	\$0.69	9.00	C	0.09
22		4/S EXTENSION RING	0.32	\$333.64	C	\$1.08	25.00	C	0.08
23	CCode: Feeder Rough					\$463.72			30.97
24		1 1/4 EMT CONDUIT	65.30	\$264.93	C	\$172.99	7.80	C	5.09
25		1 1/4 EMT 90 ELBOW	3.00	\$10.15	E	\$30.46	0.40	E	1.20
26		1 1/4 EMT CONN S/C	2.00	\$136.62	C	\$2.73	0.50	E	1.00
27		1 1/4 EMT COUPL S/C	6.53	\$151.29	C	\$9.88	0.25	E	1.63
28		1 1/4 LOCKNUT	2.00	\$0.17	E	\$0.34	0.21	E	0.42
29		1 1/4 PVC 40	27.18	\$147.09	C	\$39.97	7.50	C	2.04
30		1 1/4 PVC 40 90 ELBOW	2.00	\$222.23	C	\$4.44	0.40	E	0.80
31		1 1/4 PVC MALE TERM	2.00	\$56.30	C	\$1.13	0.25	E	0.50
32		1 1/4 PVC COUPLING	4.00	\$37.70	C	\$1.51	7.50	C	0.30
33		1 1/4 LIQUIDTIGHT FLEX	10.00	\$518.37	C	\$51.84	12.50	C	1.25
34		1 1/4 LIQUIDTIGHT FLEX CONN	2.00	\$3,826.92	C	\$76.54	0.37	E	0.74
35		6X4X4" NEMA 3R RT J-BOX	1.00	\$71.90	E	\$71.90	1.00	E	1.00
36		COOLING TOWER PVC	1.00	\$0.00	X	\$0.00	3.00	E	3.00
37		WATER PUMP	2.00	\$0.00	X	\$0.00	3.00	E	6.00
38		BOILER PUMP	2.00	\$0.00	X	\$0.00	3.00	E	6.00

	A	B	C	D	E	F	G	H	I
39		CCode: Hangers/Anchors				<u>\$0.08</u>			<u>0.01</u>
40		1/4X1 FEND WASH SS	0.97	\$7.87	C	\$0.08	0.88	C	0.01
41		CCode: Disc/Safety Switches				<u>\$163.00</u>			<u>14.00</u>
42		30/3/F 3R 250V HD	1.00	\$163.00	E	\$163.00	2.00	E	2.00
43		60/3/F N1 600V HD	2.00	\$0.00	E	\$0.00	3.00	E	6.00
44		100/3/F 3R 600V	1.00	\$0.00	E	\$0.00	6.00	E	6.00
45		CCode: Lugs/Termination/Ground				<u>\$0.94</u>			<u>0.10</u>
46		HILTI 20OZ FIRESTOP	0.03	\$29.00	E	\$0.94	3.00	E	0.10
47		CCode: Panels/Loadcenters				<u>\$200.00</u>			<u>16.00</u>
48		WATER LEVELER	1.00	\$200.00	E	\$200.00	5.00	E	5.00
49		HEAT TRACE	1.00	\$0.00	Q	\$0.00	3.00	E	3.00
50		VFD	2.00	\$0.00	Q	\$0.00	4.00	E	8.00
51		CCode: Branch Wire				<u>\$192.81</u>			<u>5.66</u>
52		12 THHN CU SOLID	279.06	\$175.00	M	\$48.84	9.00	M	2.51
53		10 THHN CU SOLID	228.29	\$280.33	M	\$64.00	8.75	M	2.00
54		8 THHN CU STRANDED	102.47	\$780.46	M	\$79.98	11.25	M	1.15
55		CCode: Feeder Wire				<u>\$1,602.88</u>			<u>17.92</u>
56		6 THHN CU STRANDED	713.10	\$1,136.81	M	\$810.66	13.75	M	9.81
57		3 THHN CU STRANDED	433.01	\$1,829.58	M	\$792.23	18.75	M	8.12
58						<u>\$3,187.84</u>			<u>117.84</u>

CED NORCROSS

5255 BROOK HOLLOW PARKWAY
NORCROSS GA 30071
TEL: 770 242-7474 FAX: 770 242-5896

CONTACT: JACOB VARNADOE

QUOTE FOR: ELECTRICAL CONTRACTOR INC.

ACCT #: FG-74497 ELECTRICAL CONTRACTOR

8141 TECHNOLOGY DR #D
COVINGTON, GA 30014
TEL: (770) 788-8082

QUOTATION		PAGE 001 OF 001	
QUOTE # 1091982	DATE 12/01/23	REV # 008	REV DATE 12/04/23
QUOTE EXPIRES 12/31/2023		PREPARED BY JV	
SLS 8888		INSL 8878	
FOB SHIPPING POINT		FREIGHT PREPAID	

CUS PO #: .
JOB NAME: DISCONNECT

LN	QTY	MFR	CATALOG #	DESCRIPTION	PRICE	UOM	EXT AMT
01	3	BUSS	FRSR70	600V RK5 TD FUSE	42.00	E	126.00
02	3	SQD	GTK0610	GROUND KIT	9.00	E	27.00
03	1	SQD	VH363RB	3P 100A SFTY SWITCH	595.71	E	595.71
04	2	SQD	VH362	3P 60A SFTY SWITCH	231.00	E	462.00
05	6	BUSS	FRSR40	600V RK5 TD FUSE	21.34	E	128.04

MDSE: 1,338.75
TAX: 93.71
TOTAL: 1,432.46

PLEASE NOTE: THIS IS NOT AN OFFER TO CONTRACT, BUT MERELY A QUOTATION OF CURRENT PRICES FOR YOUR CONVENIENCE AND INFORMATION. ORDERS BASED ON THIS QUOTATION ARE SUBJECT TO YOUR ACCEPTANCE OF THE TERMS AND CONDITIONS LOCATED AT SALES.OUR-TERMS.COM, WHICH WE MAY CHANGE FROM TIME TO TIME WITHOUT PRIOR NOTICE. WE MAKE NO REPRESENTATION WITH RESPECT TO COMPLIANCE WITH JOB SPECIFICATIONS.



POTENTIAL CHANGE ORDER (PCO) REQUEST

School Name:	E.L. Miller ES	Date:	December 20, 2023
Project Name:	GC Services for EL Miller MSBR	Project Number:	354-35
Title:	Relocate Pipe from Corridor 9 to Corridor 7	PCO #:	029

Description of Work:

Relocating the 4" heat pump supply and return piping that goes from the mechanical room (147.1) and over the kitchen area (146.1, 146.4, 147.8, 147.7, and into Corridor 9 (highlighted in yellow on the attached) and relocate that piping main to leave the mechanical room (147.1) and travel down Corridor 7 and branch out from there in Corridor 1 (highlighted in blue on the attached). This would allow us to turn on the following heat pumps (WSHP-15 thru 23, and WSHP25) and open up 9 more classrooms for Spring semester and avoid temporary heat in the Administration area. Reference RFI #68.

A. Subcontractor Cost of the Work

Conditioned Air	\$ 6,077.69	
	\$ -	
	\$ -	
	\$ -	
	\$ -	
	\$ -	
		Subtotal A: \$ 6,077.69

B. CONTRACTOR Fee: (As per Section 11.7.1.2) - **5% subcontractor work** **Subtotal B:** \$ 303.88

C. CONTRACTOR Cost of the Work:

Payroll Costs (See attached supporting documentation.)	\$ -	
Materials and Equipment (See attached supporting documentation.)	\$ -	
Consultant Costs (See attached supporting documentation.)	\$ -	
Self-Performed Costs (See attached supporting documentation.)		
		Subtotal C: \$ -

D. P&P Bond - 0.4% of Total Subs Cost of Change **Subtotal D:** \$ 25.63

E. CONTRACTOR Fee: - 10% self performed **Subtotal E:** \$ -

Total = (A + B + C + D + E) **Total:** \$ 6,407.20

The proposal would Increase Decrease the Milestones and/or Contract Time by _____ calendar days.

The proposal does NOT affect the Milestones and/or Contract Time.

Contractor Signature

Operation Manager

Title

December 20, 2023

Date



POTENTIAL CHANGE ORDER (PCO) REQUEST

School Name:	E.L. Miller ES	Date:	January 15, 2024
Project Name:	GC Services for EL Miller MSBR	Project Number:	354-35
Title:	MDS to HVAC - Existing Circuits	PCO #:	030

Description of Work:

The new switchboard is missing the following breakers for landing purposes of school equipment. None of these breakers are shown on the design drawings, panel schedules or layouts. These were previously landed on the now demolished main switchboard. Per RFI #73 response, utilize the spares in panel MDP prior to ordering new. From the panel schedule, it appears there are 2-100A, and 1-125A. Connect the SPD (if not integral) to the 225A spare and use the 80A for AHU1. With the addition of panel HVAC, it is possible that panel LD has many breakers not being used, possible freeing up the 30A breakers needed. There are a couple 30A spares in panel HVAC as well. It does appear that the 70A breaker for the ATS and the 60A for cooling unit 3 will be required.

A. Subcontractor Cost of the Work

Electrical Contractors Inc.	\$ 4,857.27	
	\$ -	
	\$ -	
	\$ -	
	\$ -	
	\$ -	
		Subtotal A: \$ 4,857.27

B. CONTRACTOR Fee: (As per Section 11.7.1.2) - **5% subcontractor work** **Subtotal B:** \$ 242.86

C. CONTRACTOR Cost of the Work:

Payroll Costs (See attached supporting documentation.)	\$ -	
Materials and Equipment (See attached supporting documentation.)	\$ -	
Consultant Costs (See attached supporting documentation.)	\$ -	
Self-Performed Costs (See attached supporting documentation.)		
		Subtotal C: \$ -

D. P&P Bond - 0.4% of Total Subs Cost of Change **Subtotal D:** \$ 20.48

E. CONTRACTOR Fee: - 10% self performed **Subtotal E:** \$ -

Total = (A + B + C + D + E) **Total:** \$ 5,120.61

The proposal would Increase Decrease the Milestones and/or Contract Time by _____ calendar days.

The proposal does NOT affect the Milestones and/or Contract Time.

Contractor Signature

Matthew Wilson (Jan 15, 2024 18:33 EST)

Program General Manager

Title

January 15, 2024

Date

Electrical Contractor Incorporated
 8141-D Technology Drive, Covington, GA 30014
 Office: 770-788-8082 ~ Fax: 770-788-9738

JOB #: 2214
 C.O. PROPOSAL #: 2214-11
 DATE: 1/12/2024
 JOB: EL Miller Major

CHANGE ORDER PROPOSAL

To:
 Centennial
 3200 Cobb Galleria Parkway
 Atlanta, Ga Suite 210 30339

PAGE#: 1 OF 1

COST TOTAL: \$4,857.00

ACCEPTED: [] REJECTED: []
 COMPLETED: [] % BILLED: []

DESCRIPTION:

Per RFI 73 on 1.5.23, and due to missing MDS main breakers, ECI to provide connections for equipment not originally in design/ contract drawing MDS.

MATERIAL

Qty	Description	Unit Price	Per	Extension
1	material from breakout sheet	3014.55	E	\$3,014.55
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00

Sutotal Material:		\$3,014.55
Sales Tax:	8.00%	\$241.16
Material Total:		\$3,255.71
Total Labor		\$859.80
Bond Accrue:		\$58.20
Administrative:		\$50.00
Subtotal:		\$4,223.71
Profit:	15%	\$633.56
Subtotal:		\$4,857.27
Subcontractors:		\$0.00
Subcontractor's Profit:		\$0.00
GRAND TOTAL:		\$4,857.27

Labor Rate: \$60.00

NOTE: Quote good for 30 days.

	A	B	C	D	E	F	G	H	I
1	Item #	Item Name	Quantity	Price 1	U	Ext Price 1	NECA 2	U	NECA 2 Ext
2	Label Set: main switchboard breakers					\$3,014.55			14.33
3									
4	CCode: Branch Rough					<u>\$104.37</u>			<u>7.39</u>
5		3/4 EMT CONDUIT	31.33	\$102.98	C	\$32.26	6.20	C	1.94
6		1 EMT CONDUIT	30.96	\$176.74	C	\$54.71	6.80	C	2.11
7		3/4 EMT CONN S/C	2.00	\$150.72	C	\$3.01	0.37	E	0.74
8		1 EMT CONN S/C	2.00	\$62.39	C	\$1.25	0.43	E	0.86
9		3/4 EMT COUPL S/C	3.13	\$45.84	C	\$1.44	0.17	E	0.53
10		1 EMT COUPL S/C	3.10	\$70.01	C	\$2.17	0.20	E	0.62
11		1 EMT 1 HOLE STP/STL	3.87	\$0.19	E	\$0.72	5.00	C	0.19
12		HILTI ONE HOLE	3.92	\$0.40	E	\$1.57	4.00	C	0.16
13		3/4 BOTTOM MTD CONDUIT CLIP	3.13	\$216.60	C	\$6.79	6.25	C	0.20
14		HILTI 20OZ FIRESTOP	0.02	\$29.00	E	\$0.45	3.00	E	0.05
15	CCode: Panels/Loadcenters					<u>\$2,792.18</u>			<u>4.00</u>
16		QOB-350 600v CB	1.00	\$310.67	E	\$310.67	1.00	E	1.00
17		QOB-370 600v CB	1.00	\$1,208.79	E	\$1,208.79	1.50	E	1.50
18		QOB-380 600v CB	1.00	\$1,272.72	E	\$1,272.72	1.50	E	1.50
19	CCode: Branch Wire					<u>\$28.01</u>			<u>1.15</u>
20		10 THHN CU SOLID	131.57	\$212.91	M	\$28.01	8.75	M	1.15
21	CCode: Feeder Wire					<u>\$89.99</u>			<u>1.79</u>
22		6 THHN CU STRANDED	130.02	\$692.12	M	\$89.99	13.75	M	1.79
23						\$3,014.55			14.33



POTENTIAL CHANGE ORDER (PCO) REQUEST

School Name:	E.L. Miller ES	Date:	January 29, 2024
Project Name:	GC Services for EL Miller MSBR	Project Number:	354-35
Title:	Building Gas Regulator Upgrade	PCO #:	031

Description of Work:

Per RFI #72, the existing gas regulator does not allow enough flow and pressure for the mechanical equipment along with the food service equipment. In order to provide proper pressure, the gas pipe plumber believes the existing gas regulator needs to be replaced.

A. Subcontractor Cost of the Work

Conditioned Air Systems	\$ 4,250.00	
	\$ -	
	\$ -	
	\$ -	
	\$ -	
	\$ -	
		Subtotal A: \$ 4,250.00

B. CONTRACTOR Fee: (As per Section 11.7.1.2) - **5% subcontractor work** **Subtotal B:** \$ 212.50

C. CONTRACTOR Cost of the Work:

Payroll Costs (See attached supporting documentation.)	\$ -	
Materials and Equipment (See attached supporting documentation.)	\$ -	
Consultant Costs (See attached supporting documentation.)	\$ -	
Self-Performed Costs (See attached supporting documentation.)		
		Subtotal C: \$ -

D. P&P Bond - 0.4% of Total Subs Cost of Change **Subtotal D:** \$ 17.92

E. CONTRACTOR Fee: - 10% self performed **Subtotal E:** \$ -

Total = (A + B + C + D + E) **Total:** \$ 4,480.42

The proposal would Increase Decrease the Milestones and/or Contract Time by _____ calendar days.

The proposal does NOT affect the Milestones and/or Contract Time.

Matthew Wilson (Jan 30, 2024 07:40 EST)

Contractor Signature

Assistant Project Manager Program General Manager

Title

January 29, 2024

Date



SE Region
3351 Wrightsboro Road, Suite 403
Augusta, Georgia 30909
P: (706) 723-5527
F: (770) 613-2992

**Project: 73150-0120 DCSD E.L. Miller Elementary
School MSBR**
919 Martin Road
Stone Mountain, Georgia 30088

RFI #72: EL Miller ES - Existing Gas Regulator

Status	Closed on 01/04/24		
To	Chantel Coley (NBP Engineers) Bobby Weiner (CDH Partners)	From	Tyler Shelton (Centennial Contractors Enterprises, Inc.) 3200 Cobb Galleria Parkway, Suite 210 Atlanta, Georgia 30339
Date Initiated	Dec 29, 2023	Due Date	Jan 1, 2024
Location	Exterior Entry Rooms>147.1 - Mechanical Room	Project Stage	Course of Construction
Cost Impact	TBD	Schedule Impact	No
Spec Section		Cost Code	
Drawing Number		Reference	
Linked Drawings			
Received From	Nick Deaton (Conditioned Air Systems, Inc.)		
Copies To	Melissa Cantrell (CDH Partners), Ray Church (Centennial Contractors Enterprises, Inc.), Alyssa Franklin (CDH Partners), Danny Payne (Conditioned Air Systems, Inc.), Matthew Wilson (Centennial Contractors Enterprises, Inc.)		

Activity

Question

Question from Tyler Shelton Centennial Contractors Enterprises, Inc. on Friday, Dec 29, 2023 at 11:27 AM EST

The HVAC technician believes that the existing regulator will have gas pressure issues at EL Miller ES with regards to the new boiler, new food service equipment, existing water heaters, and the existing gas generator. See notes below.

Gas fed equipment:

- Boiler (1) – Lochinvar FBN1251
- Existing Water Heaters (2) – Info attached
- Existing Generator (1) – Info attached
- Convection Oven (2) – Info attached
- Four Burner Range (1) – Info attached
- Tilting Skillet (1) – Info attached
- 16 Pan Steamer (1) – Info attached

The current gas regulator for the building just after the meter is labeled as ¼ in. HVAC technician tested the line just before the new regulator installed before the new boiler and confirmed that the current gas line does in fact only have about ¼ in. PSI and 5 inch of water column for the entire building. HVAC technician believes that that is not enough for the boiler and all the other appliances on this line listed above. Please review building requirements and let us know how to proceed in order to ensure that there is enough gas pressure and flow for the building equipment.

Attachments

[QF100_ FOODSERVICE EQUIPMENT FLOOR PLAN Rev.0 markup.pdf](#), [EL Miller - Water Heater and Gas Generator.pdf](#)

Official Response

Response from Bobby Weiner CDH Partners on Tuesday, Jan 2, 2024 at 01:34 PM EST

See response from NBP below.

Tyler,

Please see response below for Wilson Dent in our office.

It is important to note, that 1/4psi is equivalent to 7"W.C. This is the standard delivery pressure for most buildings with this size gas load. I looked at the FBN1251 Instruction Manual and it is stated that the minimum operating pressure is 4" W.C. and the maximum is 14"W.C.

Building Gas Loads:

Boiler – 1,250MBH

Water Heaters(199MBH x 2) – 398MBH

Generator – 859MBH

Oven – (55MBH x 2) – 110MBH

Range – 225MBH

Skilllet – 125MBH

Steamer – 250MBH

Total Load – 3,217MBH – The load splits directly downstream from the meter with a 1.5" pipe routing underground for all the kitchen equipment, a separate 1.25"(I think) pipe routed underground to the generator, and a third 2.5" pipe entering the mechanical room for the boiler and water heaters.

Once inside the mechanical room, the 2.5" pipe routes approximately 15 feet and then splits with a 2" pipe to the boiler, and a 1.5" pipe to the water heaters.

In calculating the pressure drop from the meter to the boiler there is less than .3" W.C. drop in pressure.

The boiler should receive around 6.5" W.C. when running at full load, which is above the minimum operating pressure of 4" W.C.

If there are still concerns, from our pictures the gas supply from the gas company is 15psi gas at the meter. The gas pressure reducer downstream from the meter reduces it to a range of 5.5"W.C. to 8" W.C. We recommend that the spring be replaced on the gas pressure regulator to deliver 10" W.C. to the building equipment.

A 10" W.C. delivery pressure should still be within the operating range of the generator, water heaters, and kitchen equipment. Most equipment will operate up to 14"W.C. as the maximum operating pressure. Verify with instruction manuals for all equipment prior to adjusting pressure.

Wilson Dent, PE, LEED AP
Principal

NBP Engineers, Inc.
316 Corporate Parkway
Macon, Georgia 31210

From: Jason Ladd <jladd@conditionedairsystems.com>
Sent: Monday, January 29, 2024 5:13 PM
To: Nicholas Deaton
Cc: Shelton, Tyler; Church, Ray
Subject: Re: [External Email] EL MILLER CHANGE ORDER PROPOSAL

Follow Up Flag: Follow up
Flag Status: Flagged



IRONSCALES couldn't recognize this email as this is the first time you received an email from this sender jladd@conditionedairsystems.com

Due to the nature of the nonadjustable regulator, the regulator will have to be changed for a higher volume and pressure regulator to accommodate all the fixtures throughout gas system. All fixtures will have to have their own regulator, to adhere to manufacture specifications. Current regulator is less than 11 inches of water column on outgoing, the boilers require a minimum of 7 to 11 at full capacity. Therefore there will not be enough gas to supply both boilers running at the same time. Replace regulator with a 2 psi regulator, which will be sufficient in supplying all fixtures.

Typing this as I'm driving through Atlanta sorry.

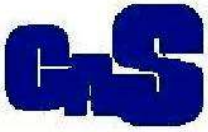
But that's the just of it.

Jason Ladd
Conditioned Air Systems Inc
Plumbing Manager
Office 770-536-7509
Cell 770-530-2855
Jladd@conditionedairsystems.com

On Jan 29, 2024, at 4:49 PM, Nicholas Deaton <NDeaton@conditionedairsystems.com> wrote:

I have copied my plumber on this email.
Jason please see below

From: Shelton, Tyler <tshelton@cce-inc.com>
Sent: Monday, January 29, 2024 2:54 PM
To: Nicholas Deaton <NDeaton@conditionedairsystems.com>
Cc: Church, Ray <RChurch@cce-inc.com>
Subject: RE: [External Email] EL MILLER CHANGE ORDER PROPOSAL



CONDITIONED AIR SYSTEMS, INC.

2410 Hilton Way, S.W.

Gainesville, Georgia 30501

(770) 536-7509 Fax (770) 535-8096

www.conditionedairsystems.com

January 29, 2024

Eldridge Miller Elementary School
919 Martin Rd
Stone Mountain, GA 30088

Thank you for allowing Conditioned Air Systems, Inc. the opportunity to assist with your comfort needs. We appreciate the confidence you have placed in us and we are pleased to offer the following solution(s):

- Cut and remove piping and gas regulator at the meter and install adjustable regulator 2 PSI to supply adequate pressures and volume throughout.

Gas regulator = \$ 4,250.00

Terms:

This price is based on all work being performed during normal business hours

All pricing is valid for 30 days from date above.

Equipment / material remain the property of Conditioned Air Systems until paid in full.

Payment due upon completion of job

EXCLUSIONS:

Any unforeseen or uncovered rock, buried trash, debris, or any utilities not properly marked by Georgia 811 or private utility locators. Any slab and/or concrete removal of slab or concrete foundations.

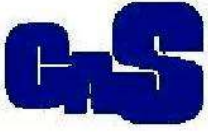
SIGNATURE OF ACCEPTANCE

DATE:

Customer Acceptance:

We propose to furnish material and labor for the above specifications and pricing. With your approval below the specifications and pricing are satisfactory and are hereby accepted, thus authorizing Conditioned Air Systems to commence the work.

If you have any questions regarding this proposal, please let me know at your earliest convenience so that we can discuss it in further detail. Thank you again for your consideration.



CONDITIONED AIR SYSTEMS, INC.

2410 Hilton Way, S.W.

Gainesville, Georgia 30501

(770) 536-7509 Fax (770) 535-8096

www.conditionedairsystems.com

Sincerely,
Jason Ladd

Plumbing Manager

jladd@conditionedairsystems.com

770-530-2855



POTENTIAL CHANGE ORDER (PCO) REQUEST

School Name:	E.L. Miller ES	Date:	March 20, 2024
Project Name:	GC Services for EL Miller MSBR	Project Number:	354-35
Title:	Paving Parking Lot	PCO #:	032

Description of Work:

Mill and pave the existing front and rear parking lot in the area shown on the attached sketch (SK-2) at E.L. Miller Elementary School per the request of DeKalb County Schools. Repair utility trenches cut across the parking lot and driveways created by others for the modular classrooms. After paving repairs are completed, we will restripe the front and rear parking areas.

A. Subcontractor Cost of the Work

Georgia Wildcat Paving (See Below)	\$	-	
- Asphalt Mill & Pave	\$	168,350.00	
- Asphalt Repair - 3 Trenches	\$	6,070.00	
- Striping	\$	2,335.00	
- Georgia Wildcat Paving Payment and Performance Bond	\$	441.89	
	\$	-	
			Subtotal A: \$ 177,196.89

B. CONTRACTOR Fee: (As per Section 11.7.1.2) - **5% subcontractor work** **Subtotal B:** \$ 8,859.84

C. CONTRACTOR Cost of the Work:

Payroll Costs (See attached supporting documentation.)	\$	-	
Materials and Equipment (See attached supporting documentation.)	\$	-	
Consultant Costs (See attached supporting documentation.)	\$	-	
Self-Performed Costs (See attached supporting documentation.)			
			Subtotal C: \$ -

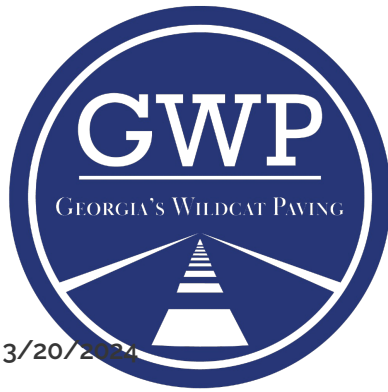
D. P&P Bond - 0.4% of Total Subs Cost of Change **Subtotal D:** \$ 747.22

E. CONTRACTOR Fee: - 10% self performed **Subtotal E:** \$ -

Total = (A + B + C + D + E) **Total:** \$ 186,803.95

- The proposal would Increase Decrease the Milestones and/or Contract Time by _____ calendar days.
 The proposal does NOT affect the Milestones and/or Contract Time.

	Asst. PM/ Program General Manager	March 20, 2024
Contractor Signature	Title	Date



3/20/2024

A PAVE AMERICA COMPANY
PROPOSAL

EL MILLER ELEMENTARY SCHOOL

PROPOSAL NUMBER

3915-3

ADDRESS

**919 Martin Rd, Stone Mountain, GA,
30088**

CLIENT

**Centennial Contractors Enterprises, Inc.
Tyler Shelton**

CONTACT

**770-613-2999
tshelton@cce-inc.com**

ADDRESS

1128 BRETT DR SW
CONYERS, GA
30094

TELEPHONE

7706346507 Cell
678-377-3113 office

EMAIL

SALESPERSON: KELLY@GWPPAVING.COM



PROPOSAL

Dear Tyler Shelton,

The Georgia's Wildcat Paving Company has been serving Atlanta since 1993, they purchased their first dump truck and got to work. Through the years the company has expanded to add a dependable sales team and a hard-working field crew. In everything we do we strive to provide our customers with comprehensive solutions for their parking lot needs!

Per your request, we propose to supply the following to complete the indicated job: Labor, Materials, Equipment

Exclusions: Testing, Towing, Permits, 3rd Party Inspections, Stake-Out, Removal Or Relocation Of Utilities, Any Other Items As Listed On The Terms And Conditions Page.

Please review the proposal and feel free to call with any questions.



PROPOSAL

QUALITY CONTROL

Price: \$0.00

STRIPING

Price: \$2,335.00

Striping will consist of the following:

82	Layout & Stripe Each Line (2 Coats)
3	HDC Logos
200	Solid Line
2	Crosswalk
1	Arrows
1	Minimum

This work will be completed as coordinated with Purchaser. Any painting on concrete surfaces is not warranted. Chlorinated rubber-alkyd, thermoplastic material is not included in our scope of services. Purchaser is required to provide Contractor with a detailed drawing designating exact layout of area to be striped. If Purchaser does not provide a detailed striping layout, Contractor will exercise its best effort to re-stripe the area per the existing layout and will not be held responsible for discrepancies in new layout and stencils. Contractor is not responsible for obtaining current ADA, Federal, State, & Local Parking Lot Stripe Codes and or re-designing existing striping layout. Purchaser agrees to pay Contractor a minimum of \$600 for each additional mobilization required for striping not listed above.

ASPHALT REPAIR - 3 TRENCHES

Price: \$6,070.00

Repair 23 Square Yards excavated up to a depth of 8" of GAB and 4" of topping.

- This work is performed by removing asphalt to the above-specified depth by the milling machine or other means and removing broken asphalt from the site.*
- The exposed sub-grade, if encountered, will be compacted to a uniform depth and vertical edges of the open patch will be tack coated using CRS2 emulsion.*
- New asphalt will then be placed and compacted to a uniform consistency (multiple lifts may be required).*
- The finished elevation of the new repair will match the adjacent surfaces.*
- All new asphalt material will be Department of Transportation approved.*
- This work can usually be completed with minimal inconvenience to traffic.*
- If unsuitable materials are encountered (paving fabric, contaminated material, etc) and deemed by Contractor or Supplier unacceptable to be delivered to the originally desired location, the material will be taken to a dump site at an additional charge of \$350/per truckload plus dump fees.*
- Purchaser agrees to pay all costs associated with asphalt milling disposal. Purchaser is responsible to ensure all vehicles are removed (towing if required) from the affected areas no later than 7:00 a.m.*



ASPHALT MILL & PAVE

Price: \$168,350.00

Mill and Pave **7,681** Square Yards, to a depth of **2.00** inches.

- This work is performed by profile milling proposed area and removing asphalt from the site.
- The vertical edges of the open patch will be tack coated using CRS2 emulsion.
- New asphalt will then be placed by a self-propelled paving machine at the above depth and rolled and compacted to a uniform consistency (multiple lifts may be required). The finished elevation of the new asphalt will match the adjacent pavement surface.
- All new asphalt material will be Department of Transportation approved. In the initial excavation,
- If unsuitable materials are encountered (paving fabric, contaminated material, etc) and deemed by Contractor or Supplier unacceptable to be delivered to the original desired location, the material will be taken to a dump site at an additional charge of \$350/per truckload plus dump fees.
- We will not be responsible for ponding water or poor drainage in areas where the grade is less than 2%.
- Purchaser is responsible to ensure all vehicles are removed (towing if required) from the affected areas no later than 7:00 a.m.

TOTAL PRICE OF THIS PROPOSAL AS PRESENTED:

\$176,755.00

* Bond Rate is 2.5% (\$441.89)

Total Cost with Bond= \$177,196.89



AGREEMENT

The Unit Rates applicable to the categories of work to be performed pursuant to this Agreement are based on the material costs and published indexes as of 01/01/2023. Purchaser acknowledges that if the above-listed items increase by the date all work under the contract is completed, the Unit Rates applicable to the categories of work to be performed under the Proposal shall be adjusted. The adjusted Unit Rates shall be committed and paid by the purchaser as though a written change order were approved and signed by both parties.

Georgia's Wildcat Paving proposes to furnish material and labor to perform the work outlined herein for the sum of:

\$176,755.00, ONE HUNDRED SEVENTY-SIX THOUSAND, SEVEN HUNDRED FIFTY-FIVE DOLLARS AND ZERO CENTS

Payment is due upon completion of work and considered past due after 30 days. For all residential work we require a 50% deposit.

This proposal is valid for thirty (30) days from the date written above. The proposal is subject to the terms and conditions enclosed, attached, and/or on the backside of the proposal.

This proposal contains confidential information belonging to the sender, which is legally privileged. The information is intended only for the use of the individual or entity named above. If you are not the intended recipient, you are hereby notified that any disclosure, copying, distribution, or the taking of any action in reliance on the contents of this proposal is strictly prohibited. If you have received this proposal in error, please immediately notify us by telephone to arrange for the return of the original documents to us.

Sincerely,

Kelly Branegan Cohen, Sales Manager
kelly@gwppaving.com
Cell: 7706346507

Accepted: The above-proposed terms and conditions, including price and payment terms, are satisfactory and hereby accepted. **Georgia's Wildcat Paving** is hereby authorized to proceed with the work specified.

Purchaser: _____ Title: _____

Printed Name: _____ Date: _____



TERMS & CONDITIONS

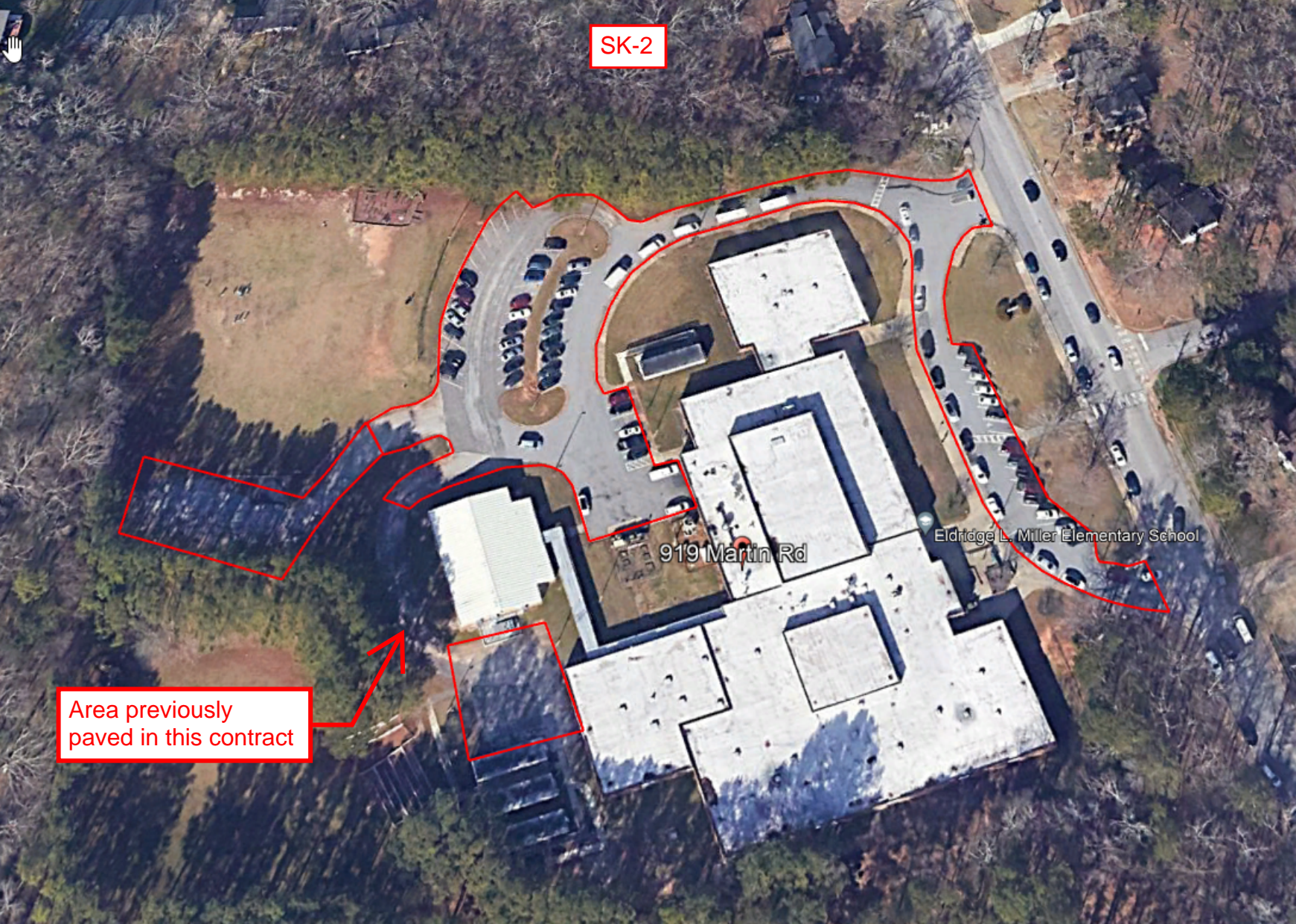
- These Terms and Conditions are by and between Georgia's Wildcat Paving, a Pave America Company, (hereinafter the "Contractor"), and the front-side "Purchaser", (hereinafter the "Purchaser").
- All stone, asphalt, and concrete depths indicated are to be interpreted as average depths prior to compaction. Actual Asphalt Repair depth regardless of depth specified on the front will only go to the stone base or specified depth whichever is less. • Drainage is not guaranteed on areas having less than 2% grade.
- If the contract is canceled by Purchaser prior to commencement of work, Purchaser will pay Contractor twenty percent (20%) of the total contract price.
- Unit prices, if specified, shall apply to all extra work performed beyond the original scope, if such work can be performed at the same time Contractor is working at the site on original items of work. The contractor reserves the right to renegotiate the terms and conditions, including price if it must move any equipment back to the site to perform additional work. The contractor will be under no obligation to perform any extra work.
- All proposals are based on the existence of a workable sub-base layer of at least four (4) inches. It shall not be the Contractors responsibility to check the sub-base unless it is specified and paid for in the contract. The contractor shall not be responsible for consequences of sub-base deficiency or failures, including but not limited to damages or inability to perform work due to poor compaction, underground springs, buried materials, grade failures, etc.
- Each phase of work will be billed upon completion of that phase. Purchaser agrees to pay all invoices within 15 days of the invoice date. All amounts unpaid by the due date shall bear interest at the rate of 1.5% per month until paid. If full payment (including aforementioned late charges) has not been received by Contractor within 45 days of substantial completion, all of Purchasers warranty rights hereunder will be forfeited and automatically become void and Contractor shall be excused from further performance of work under this proposal, or any other contract with Purchaser and all amounts then due and owing, including retainage, shall become immediately payable
- The pricing contained herein is based on all work being completed within 30 days of the date of this proposal unless otherwise agreed in writing. The terms for doing any work after this date may, at Contractor's option, be renegotiated between Contractor and Purchaser. To the extent Contractor has performed any work within 30 days of the date of this proposal, Contractor shall be compensated for all such work under the terms and conditions and including price as set forth in this proposal, including retainage, together with any costs incurred as a result of Purchaser's delay in completion of the work. Purchaser agrees to compensate Contractor for ALL reasonable costs (and associated overhead and profit) for delays incurred completing the work.
- Purchaser shall not prematurely subject the work to any type of traffic; loads in excess of the design capacity before proper cure, or in a manner which may damage the work. The contractor is not responsible for graffiti, tire tracks, animal or human footprints, etc., on finished concrete/asphalt.
- Although the contractor will endeavor to cooperate fully with the progress of the work, it reserves the right to delay the start of work until the entire area of the job is ready to be poured, paved, or sealed. Unless otherwise noted, the total price is based on one move-in and complete access to work areas at the time of move-in. Purchaser agrees to pay Contractor \$2,500.00 for each additional move-in. The removal of vehicles from the work site is the sole responsibility of the Purchaser. Damage to vehicles left on the worksite is the responsibility of the Purchaser. The contractor is not responsible for crackfill that adheres to tires. The contractor is not responsible for overspray on vehicles, curb and gutter, and all structures within 50 feet of the edge of the parking lot and or area being sealed or treated.
- Contractor shall not be bound to any construction schedules unless agreed to in writing by Contractor. If no schedule is established, the Contractor will undertake the work in the course of its normal operating schedule.
- Purchaser to ensure all existing surfaces shall be in a condition suitable to receive any work to be performed by Contractor. Purchaser shall provide potable water and electrical source at no expense to Contractor. The contractor is not responsible for tire marks on asphalt and or concrete. The contractor is not responsible for damage to landscaping and sidewalks due to required access by trucks and or equipment. The contractor is not responsible for damage to existing asphalt pavement due to weak, unstable, non-compacted, or wet sub-base materials. The contractor is not responsible for damage to surrounding concrete due to the vibration of jackhammers and equipment.
- To the extent that the work is dependent upon the work of other contractors or subcontractors, the Contractor shall not assume responsibility for any defect, deficiency, or non-compliance in such other work.
- Purchaser is responsible for getting all "private" (non-public) utilities, including wells and septic system elements, underground sprinklers systems, electrical wiring, etc marked by an independent utility locator prior to the commencement of work. All specifications and the work estimate are conditioned on all private utilities not being disturbed or changed by modifications needed to accommodate private utilities not disclosed to the Contractor previously. Any damage caused to private lines during construction is the sole responsibility of the Purchaser unless previously marked by an independent utility locator. Purchaser is responsible for all damage to existing structures and facilities, including underground facilities, caused by equipment necessary to carry out the work.
- Contractor will not be responsible for the construction or material failures or delays in construction caused by any factor beyond its control, including, but not limited to, delays or failures caused by weather, acts of God, delays in transportation, acts of suppliers, and subcontractors, acts of the Purchaser, Owner or its separate contractors, fuel or raw material shortages, plant failures, or any other cause beyond its control.
- Unless stated in writing on this proposal, all engineering and testing, subgrade stabilization (undercut), excavation, utilities, adjustment of underground facilities, manholes, water valves, or underground structures, striping, landscaping, permits, bonds, government approvals, damage to existing asphalt and concrete and landscaping shall be Purchaser's sole responsibility. Purchaser agrees to indemnify, protect, and hold Contractor harmless from any and all damages, expenses, and attorneys fees suffered or incurred on account of Purchaser's breach of any obligation or covenant of this proposal.
- Unless stated in writing on this proposal, there shall be no warranties, express or implied, in connection with any material or service furnished under this proposal. All consequential damages are excluded.
- In the event that Contractor retains an attorney to recover any amount due under this agreement, the Purchaser agrees to pay all attorney fees, court costs, and costs of collection incurred by Contractor.
- Purchaser will, prior to Contractor leaving the job site, arrange for an authorized representative or agent of the Purchaser to inspect completed Contractor work in the company of a Contractor representative. Purchasers' failure to inspect the job site as above will signify acceptance of work performed by Contractor and agreement to pay the bill in full within fifteen (15) days.

SK-2

919 Martin Rd

Eldridge L. Miller Elementary School

Area previously paved in this contract





POTENTIAL CHANGE ORDER (PCO) REQUEST

School Name:	E.L. Miller ES	Date:	April 8, 2024
Project Name:	GC Services for EL Miller MSBR	Project Number:	354-35
Title:	Cooling Tower Additional Circuits	PCO #:	033

Description of Work:

Per RFI 77, Centennial Contractors will add a 120V circuit for the water control valve and a 3 phase 480V 20 Amp circuit for the basin heater.

A. Subcontractor Cost of the Work

ECI	\$	3,686.44	
	\$	-	
	\$	-	
	\$	-	
	\$	-	
	\$	-	
		Subtotal A:	\$ 3,686.44

B. CONTRACTOR Fee: (As per Section 11.7.1.2) - **5% subcontractor work** **Subtotal B:** \$ 184.32

C. CONTRACTOR Cost of the Work:

Payroll Costs (See attached supporting documentation.)	\$	-	
Materials and Equipment (See attached supporting documentation.)	\$	-	
Consultant Costs (See attached supporting documentation.)	\$	-	
Self-Performed Costs (See attached supporting documentation.)			
		Subtotal C:	\$ -

D. P&P Bond - 0.4% of Total Subs Cost of Change **Subtotal D:** \$ 15.55

E. CONTRACTOR Fee: - 10% self performed **Subtotal E:** \$ -

Total = (A + B + C + D + E) **Total:** \$ 3,886.31

The proposal would Increase Decrease the Milestones and/or Contract Time by _____ calendar days.

The proposal does NOT affect the Milestones and/or Contract Time.

Matthew Wilson (Apr 8, 2024 08:15 EDT)
 Contractor Signature

Asst. PM/ Program General Manager
 Title

April 8, 2024
 Date

Electrical Contractor Incorporated
 8141-D Technology Drive, Covington, GA 30014
 Office: 770-788-8082 ~ Fax: 770-788-9738

JOB #: 2214
 C.O. PROPOSAL #: 2214-15
 DATE: 3/29/2024
 JOB: EL Miller Major

CHANGE ORDER PROPOSAL

To:
 Centennial
 3200 Cobb Galleria Parkway
 Atlanta, Ga Suite 210 30339

PAGE#: 1 OF 1

COST TOTAL: \$3,686.00

ACCEPTED: [] REJECTED: []
 COMPLETED: [] % BILLED: []

DESCRIPTION:

Per Tyler Shelton, ECI to provide change order for added circuits to cooling tower water control valve and basin heater.

MATERIAL

Qty	Description	Unit Price	Per	Extension
1	material from breakout sheet	824.29	E	\$824.29
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00

Labor Rate: \$60.00

Sutotal Material:		\$824.29
Sales Tax:	8.00%	\$65.94
Material Total:		\$890.23
Total Labor		\$2,221.20
Bond Accrue:		\$44.17
Administrative:		\$50.00
Subtotal:		\$3,205.60
Profit:	15%	\$480.84
Subtotal:		\$3,686.44
Subcontractors:		\$0.00
Subcontractor's Profit:		\$0.00
GRAND TOTAL:		\$3,686.44

NOTE: Quote good for 30 days.

	A	B	C	D	E	F	G	H	I
1	Item #	Item Name	Quantity	Price 1	U	Ext Price 1	NECA 2	U	NECA 2 Ext
2	Label Set: Water tower and controls					\$824.29			37.02
3						<u>\$424.15</u>			<u>30.35</u>
4		1/2 EMT CONDUIT	100.00	\$60.98	C	\$60.98	5.60	C	5.60
5		1/2 EMT CONN S/C	18.00	\$29.47	C	\$5.30	0.31	E	5.58
6		1/2 EMT COUPL S/C	65.00	\$34.33	C	\$22.31	0.15	E	9.75
7		1/2 GRC	30.00	\$337.79	C	\$101.34	6.80	C	2.04
8		1 GRC	20.00	\$554.27	C	\$110.85	8.70	C	1.74
9		1/2 GRC/IMC CONN S/C/I	2.00	\$6.63	E	\$13.26	0.37	E	0.74
10		1/2 PVC FEMALE ADPT	6.00	\$23.82	C	\$1.43	0.17	E	1.02
11		1 PVC FEMALE ADPT	4.00	\$50.14	C	\$2.01	0.22	E	0.88
12		1/2 LIQUIDTIGHT FLEX	3.00	\$168.21	C	\$5.05	5.00	C	0.15
13		1 LIQUIDTIGHT FLEX	10.00	\$377.85	C	\$37.79	9.30	C	0.93
14		1/2 LIQUIDTIGHT FLEX CONN	4.00	\$531.73	C	\$21.27	0.18	E	0.72
15		1 LIQUIDTIGHT FLEX CONN	4.00	\$1,064.21	C	\$42.57	0.30	E	1.20
16	CCode: Hangers/Anchors					<u>\$32.80</u>			<u>0.80</u>
17		1-5/8 CHANNEL	20.00	\$164.00	C	\$32.80	4.00	C	0.80
18	CCode: Panels/Loadcenters					<u>\$284.76</u>			<u>1.41</u>
19		QOB-120 120/240V CB	1.00	\$28.44	E	\$28.44	0.43	E	0.43
20		QOB-330 120/240V CB	1.00	\$256.32	E	\$256.32	0.98	E	0.98
21	CCode: Branch Wire					<u>\$82.57</u>			<u>4.46</u>
22		12 THHN CU SOLID	350.00	\$142.46	M	\$49.86	9.00	M	3.15
23		10 THHN CU SOLID	150.00	\$218.09	M	\$32.71	8.75	M	1.31
24						\$824.29			37.02



POTENTIAL CHANGE ORDER (PCO) REQUEST

School Name:	E.L. Miller ES	Date:	April 8, 2024
Project Name:	GC Services for EL Miller MSBR	Project Number:	354-35
Title:	Carbon Monoxide Detector	PCO #:	034

Description of Work:

Per RFI 75, Centennial Contractors to install a carbon monoxide detector into the boiler room. This requirement is per the Rules and Regulations of the State of Georgia - Rule 120-3-23-.07 Section 10.

A. Subcontractor Cost of the Work

ECI	\$	5,640.67	
	\$	-	
	\$	-	
	\$	-	
	\$	-	
	\$	-	
		Subtotal A:	\$ 5,640.67

B. CONTRACTOR Fee: (As per Section 11.7.1.2) - **5% subcontractor work** **Subtotal B:** \$ 282.03

C. CONTRACTOR Cost of the Work:

Payroll Costs (See attached supporting documentation.)	\$	-	
Materials and Equipment (See attached supporting documentation.)	\$	-	
Consultant Costs (See attached supporting documentation.)	\$	-	
Self-Performed Costs (See attached supporting documentation.)			
		Subtotal C:	\$ -

D. P&P Bond - 0.4% of Total Subs Cost of Change **Subtotal D:** \$ 23.79

E. CONTRACTOR Fee: - 10% self performed **Subtotal E:** \$ -

Total = (A + B + C + D + E) **Total:** \$ 5,946.49

- The proposal would Increase Decrease the Milestones and/or Contract Time by _____ calendar days.
 The proposal does NOT affect the Milestones and/or Contract Time.

Matthew Wilson (Apr 8, 2024 08:14 EDT)
 Contractor Signature

Asst. PM/ Program General Manager
 Title

April 8, 2024
 Date

Electrical Contractor Incorporated
 8141-D Technology Drive, Covington, GA 30014
 Office: 770-788-8082 ~ Fax: 770-788-9738

JOB #: 2214
 C.O. PROPOSAL #: 2214-13
 DATE: 2/26/2024
 JOB: EL Miller Major

CHANGE ORDER PROPOSAL

To:
 Centennial
 3200 Cobb Galleria Parkway
 Atlanta, Ga Suite 210 30339

PAGE#: 1 OF 1

COST TOTAL: \$5,641.00

ACCEPTED: [] REJECTED: []
 COMPLETED: [] % BILLED: []

DESCRIPTION:

ECl to provide Carbon Monoxide detectors in Boiler Room as dictated in RFI 75 response on 2.13.24.

MATERIAL

Qty	Description	Unit Price	Per	Extension
1	material from breakout sheet	81.40	E	\$81.40
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
			E	\$0.00
	Simplex quote below		E	\$0.00
			E	\$0.00

Labor Rate: \$60.00

Sutotal Material:		\$81.40
Sales Tax:	8.00%	\$6.51
Material Total:		\$87.91
Total Labor		\$283.20
Bond Accrue:		\$67.58
Administrative:		\$50.00
Subtotal:		\$488.69
Profit:	15%	\$73.30
Subtotal:		\$562.00
Subcontractors:		\$4,724.35
Subcontractor's Profit:		\$354.32
GRAND TOTAL:		\$5,640.67

NOTE: Quote good for 30 days.

	A	B	C	D	E	F	G	H	I
1	Item #	Item Name	Quantity	Price 1	U	Ext Price 1	NECA 3	U	NECA 3 Ext
2	Label Set: CO DETECTOR					\$81.40			4.72
3						\$81.40			4.72
4		3/4 EMT CONDUIT	20.00	\$110.32	C	\$22.06	7.50	C	1.50
5		3/4 EMT CONN S/C	2.00	\$150.72	C	\$3.01	0.45	E	0.90
6		3/4 EMT COUPL S/C	2.00	\$45.84	C	\$0.92	0.21	E	0.42
7		512 CADDY T-BAR BOX HANGER	1.00	\$764.02	C	\$7.64	0.00	C	0.00
8		3/4 BOTTOM MTD CONDUIT CLIP	20.00	\$226.35	C	\$45.27	7.50	C	1.50
9		4/0 BOX 1-1/2 DP 1/2"	1.00	\$249.88	C	\$2.50	40.00	C	0.40
10						\$81.40			4.72

DIRECTED CHANGE



Johnson Controls Inc
 6175 Shamrock Ct
 Dublin, Ohio 43017
 614-555-1212

JCI Project Number	650241346		
PROJECT NAME	E.L Miller ES FA		
LOCATION OF WORK	Boiler Room		
CONTRACT NO.	22143	DIRECTED CHANGE NO.	2
REQUESTING PARTY	ECI	DATE OF REQUEST	2/19/24
PROJECT MANAGER		CONTRACTOR	
OWNER		ENGINEER	

DIRECTED CHANGE OVERVIEW

DESCRIPTION OF CHANGES	Add 1 CO detector and 1 relay in boiler room
REASON FOR CHANGE	spec for gas fired equipment
SUPPORT & JUSTIFICATION DOCUMENTS	
SPECIFICATIONS	

CHANGE IN CONTRACT PRICE

ORIGINAL PRICE	\$175,698.00
NET CHANGES OF PREVIOUS CHANGE ORDERS	\$2,714.41
NET INCREASE / DECREASE	\$4,724.35
TOTAL CONTRACT PRICE WITH APPROVED CHANGES	\$183,136.76

CHANGE IN CONTRACT TIMES

ORIGINAL TIME IN DAYS	
NET CHANGES OF PREVIOUS CHANGE ORDERS IN DAYS	
NET INCREASE / DECREASE IN DAYS	1
TOTAL CONTRACT TIME WITH APPROVED CHANGES	1

RECOMMENDED BY:	JCIFP	ACCEPTED BY:	
DATE:	2/19/2024	DATE:	
REVIEWED BY:		APPROVED BY:	
DATE		DATE	

It is hereby agreed the changes and additions in the Scope of Work noted below shall constitute an Extra to the contract in the amount noted on this form. The sum shall be added to the original value of the above numbered contract and at Extras heretofore approved. This quotation is valid for 30 days.

PROJECT NAME	E.L Miller ES FA		
LOCATION OF WORK	Boiler Room		
CONTRACT NO.	22143	DIRECTED CHANGE NO.	2
		DESCRIPTION	SELL
GENERAL CONDITIONS			\$224.66
MATERIAL (INCLUDES SUNDRY)			\$824.69
LABOR			\$2,700.81
DESIGN			\$974.19
SUBCONTRACTING			\$0.00
EQUIPMENT/RENTALS			\$0.00
FINANCIAL- SPECIAL CONDITIONS			\$0.00
		TOTAL	\$4,724.35
CONTRACTOR SIGNATURE		PROJECT MANAGER SIGNATURE	Royce J Varnom
DATE		DATE	2/19/2024

MATERIAL				
MATERIAL NAME	DESCRIPTION/PN	QTY	SELL/EA	SELL/EXT
addressable supervised IAM relay	4090-9002	1	\$371.02	\$371.02
Carbon Monoxide Detector base	4098-9770	1	\$343.34	\$343.34
addressable ROR heat detector	4098-9733	1	\$35.36	\$35.36
		0		
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EXPEDITED SHIPPING/FREIGHT CHARG		0		
SUNDRY (SHIPPING, TRANSPORTATION, USE-TAX)				\$74.97

LABOR	QTY	EXTENDED PRICE
COMM / TECH	4	\$1,210.08
INSTALLATION	4	\$832.32
PROJ MGMT	1	\$371.31
PV/ASSOCIATE PM	1	\$242.11
SPECIFIC PROD TRAINING	0	
PREP/FAB	0	\$44.98

DESIGN	QTY	EXTENDED PRICE
Design	2	\$626.39
CAD	2	\$347.80
Third party designer	0	
SUB- PE Stamp	0	
Filing Fees	0	
Consumables	0	
Outside printing service	0	
As-builts / Manuals non-labor costs	0	

CONTRACTOR SIGNATURE		PROJECT MANAGER SIGNATURE	Royce J Varnom
DATE		DATE	2/19/2024