

EXHIBIT M

**GMP AMENDMENT TO AGREEMENT BETWEEN OWNER AND
CONSTRUCTION CONTRACTOR**

**AMENDMENT NO. 1 TO AGREEMENT BETWEEN OWNER AND
CONSTRUCTION CONTRACTOR FOR Idlewood Elementary school HVAC systems replacement and renovations
AGREEMENT NO. SP6CIP.23336.GENCONTR.1059**

Pursuant to Sections 4.B and 7.A of the Construction Management Agreement (“Agreement”), dated 3/26/2025, between The School Board of DeKalb County, Georgia (“Owner”) and Balfour Beatty (“Construction Contractor”), with respect to the construction of Owner’s

Idlewood Elementary school HVAC systems Replacement and Renovations (Project)”, Owner and Construction

Contractor hereby agree to amend and modify the Agreement by this Amendment No. 1 and establish a Guaranteed Maximum Price and Contract Time for all the Work as set forth below. All capitalized terms not defined herein shall have the meaning ascribed to them in the Agreement, unless otherwise noted.

ARTICLE 1

SCOPE OF WORK

The scope of the Work consists of the construction of a Major Building Systems Replacement and Renovation, in accordance with the Agreement, this Amendment and the other Contract Documents listed as Attachments 1 through 7 below, which are hereby incorporated into and made a part of the Amendment by this reference:

<u>Attachment No.</u>	<u>Description</u>	<u>Pages</u>	<u>Date</u>
	List of Drawings, Specifications and Addendums		28
1.	Allowances	<u>6</u> through <u>6</u>	<u>3/11/2025</u>
2.	Assumptions and Clarifications	<u>7</u> through <u>26</u>	<u>3/11/2025</u>
3.	Completion Schedule	<u>27</u> through <u>30</u>	<u>2/13/2025</u>
4.	Schedule of Values & RFI Log	<u>31</u> through <u>34</u>	<u>3/7/2025</u>
5.	List of Itemized General Conditions	<u>35</u> through <u>35</u>	<u>3/26/2025</u>
6.	List of Subcontractors and Major Suppliers	<u>36</u> through <u>36</u>	<u>3/26/2025</u>
7.	Alternates	<u>37</u> through <u>37</u>	<u>3/26/2025</u>

ARTICLE 2

GUARANTEED MAXIMUM PRICE

2.1 Construction Contractor's Guaranteed Maximum Price ("GMP") for the Work, including the estimated Cost of the Work as defined in Section 5 of the Agreement and the Construction Management Fee as defined in Section 4 of the Agreement, thirty three million, four thousand one hundred and twenty six dollars (\$ 33,004,126)

2.2 The Construction Management Fee for the entire Work anticipated on this Project is hereby established as a lump sum amount of one million five hundred seventy one thousand six hundred and twenty five (\$1,571,625), said lump sum amount is included within the above noted GMP.

2.3 The general condition expenses for the entire Work anticipated on this Project are hereby established as a lump sum amount of three million two hundred thirty six thousand six hundred and seventy three (\$ 3,236,673), said lump sum amount is included within the above noted GMP ("General Conditions Expenses"). The items included as General Condition Expenses are listed in the List of Itemized General Conditions attached hereto and incorporated herein as Attachment No. 5. Except as said lump sum amount for General Condition Expenses may be expressly adjusted by Change Order or Construction Change Directive, Construction Contractor acknowledges and agrees that Owner shall have no liability for any General Condition expenses beyond payment of the above noted lump sum amount and Construction Contractor agrees that it shall not be entitled to receive any additional compensation from Owner for the General Conditions beyond the above lump sum amount. There shall be no additional General Conditions Expenses payable to Construction Contractor on the first Five Hundred Thousand and No/100 Dollars (\$500,000.00) of Change Order or Construction Change Directive Work (i.e. the lump sum amount specified in this Subsection includes consideration for up to \$500,000.00 of Change Order and/or Construction Change Directive Work). Further, there shall be no mark-up for a subcontractor's General Conditions expenses on the first One Hundred Thousand and No/100 Dollars (\$100,000.00) of Change Order and Construction Change Directive Work to be performed by such subcontractor.

2.4 Monthly installment payment of the Construction Management Fee and the General Condition Expenses shall be based upon the percent completion of the designated portion of the Work for each particular month.

2.5 In order to efficiently and timely address any unknown or unanticipated conditions that are within the scope of the Work and are otherwise reimbursable without duplication as a Cost of the Work, but excluding all items that are to be reimbursed under the lump sum General Condition expense amount noted in Subsection 2.4 above, the parties have agreed to establish a contingency within the GMP in an amount not-to-exceed amount of zero and 0/100 Dollars (\$ 0.00) ("**Owner's Contingency**"). Owner's Contingency funds shall be used to cover costs that may result from incomplete design and unanticipated costs that arise during construction that are not identified by the construction documents. Construction

Contractor shall not proceed with any portion of the Work which it intends to charge against the Owner's Contingency without first obtaining Owner's express written authorization to proceed. Construction Contractor acknowledges and agrees that any portion of the Work which is to be charged against the Owner's Contingency that does not receive such prior written approval from Owner shall be deemed to be part of Construction Contractor's Work compensated within the GMP and not chargeable against Owner's Contingency. Owner reserves the right, at its sole discretion, to withhold its consent on Owner's Contingency expenditures. Further, the work that is the subject of any Owner's Contingency expenditures shall be deemed part of the Work. The GMP shall be reduced by unused Owner's Contingency remaining at the completion of the Work. Construction Contractor has no entitlement to any portion of any unused Owner's Contingency.

2.6 In order to efficiently and timely address any unknown or unanticipated conditions that are within the scope of the Work and are otherwise reimbursable without duplication as a Cost of the Work, but excluding all items that are to be reimbursed under the lump sum General Condition expense amount noted in Subsection 2.4 above, the parties have agreed to establish a contingency within the GMP in an amount not-to-exceed ^{one million five hundred seventy four thousand seven hundred and ninety eight} ~~one million five hundred seventy four thousand~~ Dollars (\$1,574,798) ("**Contractor's Contingency**"). Construction Contractor shall not proceed with any portion of the Work which it intends to charge against the Contractor's Contingency without first obtaining Owner's express written authorization to proceed. Construction Contractor acknowledges and agrees that any portion of Work which is to be charged against the Contractor's Contingency that does not receive such prior written approval from Owner shall be deemed to be part of Construction Contractor's Work compensated within the GMP and not chargeable against Contractor's Contingency. Owner reserves the right, at its sole discretion, to withhold its consent on Contractor's Contingency expenditures. Further, the work that is the subject of any Owner's Contingency expenditures shall be deemed part of the Work. The GMP shall be reduced by unused Contractor's Contingency remaining at the completion of the Work. Construction Contractor has no entitlement to any portion of any unused Contractor's Contingency. Construction Contractor shall be entitled to an increase in the Construction Management Fee in the amount of 7 % of the Cost of the Work charged against the Contractor's Contingency.

2.7 The parties have agreed to establish an allowance within the GMP for miscellaneous allowances in the amount of ^{two million five hundred ninety five thousand} ~~eight hundred and forty three~~ (\$ 2,595,843) Construction Contractor shall not proceed with any portion of the Work associated with the aforesaid allowance ("**Allowance Work**") without first obtaining Owner's express written authorization to proceed with said Allowance Work. Allowance Amounts are reflected in Attachments 1 ~~through~~. Unless otherwise provided in the Contract Documents: (a) allowances amounts shall cover the cost to Construction Contractor of materials and equipment delivered at the site and all required taxes, less applicable trade discounts; (b) Construction Contractor's costs for unloading and handling at the site, labor, installation costs, overhead, profit and other expenses contemplated for stated allowance amounts shall be included in the GMP but not in the allowances, unless otherwise stated in the allowance; and (c) whenever costs are more than or less than allowances, the GMP shall be adjusted accordingly by Change Order.

2.8 Pursuant to Subsection 12.3 of Exhibit A to the Agreement, if at the time final payment is made to Construction Contractor the total Cost of the Work has been increased by approved Change Orders in an amount causing the original GMP as set forth in this Amendment to be exceeded by more than five hundred thousand and /100 Dollars (\$ 500,000.00), then Construction Contractor shall be entitled to an increase in the Construction Management Fee in the amount of five hundred thousand and /100 Dollars (5 %) of the amount exceeding the sum of five hundred thousand and /100 Dollars (\$ 500,000.00) plus that original GMP amount.

2.9 Construction Contractor recognizes that the Contract includes work for trench excavation in excess of five feet deep. Construction Contractor acknowledges the requirements set forth by all federal, state and local requirements. Construction Contractor certifies that the required trench safety standards will be in effect during the period of construction of the Project and Construction Contractor agrees to comply with all such required trench safety standards.

2.10.1 The amount of zero and /100 Dollars (\$ 0.00) has been separately identified for the cost of compliance with the required trench safety standards; said amount is included within the GMP.

2.10 At the completion of the Work, should the actual amount of “General Requirements” expenses be less than the amount included therefor in the Schedule of Values approved by Owner, the resulting “savings” shall accrue to the benefit of Owner and a deductive Change Order or Construction Change Directive shall be issued reducing the GMP by the amount of such savings. For the avoidance of doubt, any savings obtained General Requirements expenses may not be moved to contingency or be used to offset cost overruns in other items within the GMP. Further, the line item for General Requirements expenses in the Schedule of Values constitutes a separate guaranteed maximum price for such expenses and any overruns in General Requirements expenses shall be borne by Construction Contractor without reimbursement from Owner.

2.11 By executing this Amendment and furnishing Owner with a GMP based on a detailed Schedule of Values and a Master Project Schedule, Construction Contractor represents and warrants that the Contract Documents, including the Construction Documents, as well as other materials, and information furnished Construction Contractor as of the date of this Amendment have described the scope, construction requirements, and design intent of the Work in detail sufficient to enable Construction Contractor to establish firmly the GMP, Contract Time and the Project Schedule. To the extent that the Construction Documents are anticipated to require further development, Construction Contractor has provided in the GMP for such further development consistent with the Contract Documents and reasonably inferable therefrom.

2.12 Savings will be computed as of the date of final completion of the Work and shall consist of the difference between (i) the Guaranteed Maximum Price (as it may be adjusted in accordance with the terms of the Contract Documents) and (ii) the total aggregate sum of the Cost of the Work plus the Construction Management Fee paid by Owner shall accrue to the sole benefit of Owner.

ARTICLE 3

CONTRACT TIME

3.1 The Construction Phase Commencement Date for the Work is 6/27/2025. The total period of time beginning with the Construction Phase Commencement Date through the date required for Substantial Completion of the Work is seven hundred and sixty three (763) days ("**Contract Time**"). THE SUBSTANTIAL COMPLETION DATE IS THEREFORE ESTABLISHED AS 7/30/2027.

3.2 Pursuant to the Agreement, the parties have established liquidated damage rates for reasons stated therein, which the parties acknowledge and agree apply to this Amendment and Construction Contractor's responsibility to substantially complete the Work within the Contract Time as stated herein and finally complete the Work within the time prescribed in the Contract. Accordingly, the liquidated damage rates established in the Agreement shall be assessed against Construction Contractor for each calendar day Construction Contractor fails to achieve Substantial Completion of the Work within the Contract Time or final completion of the Work within the time prescribed in the Contract.

ARTICLE 4

MISCELLANEOUS

4.1 Except as expressly modified herein, the terms and conditions of the Agreement remain unchanged. All terms not specifically defined herein shall have the meaning ascribed to them in the Agreement. In the event of a conflict between the terms of this Amendment and those of the Agreement, Owner and Construction Contractor agree that the terms of this Amendment shall prevail and control. This Amendment may be executed in counterparts, each of which shall be deemed to be an original, but all of which shall constitute one and the same instrument.

Owner

Construction Contractor

By: _____

By: _____

Its: _____

Its: _____

Date: _____

Date: _____

Attest: _____

Attest: _____

ATTACHMENT 1 - Allowances
Idlewood Elementary School
Tucker, GA

GMP Estimate
March 11, 2025

Estimate Allowances

Allowance amounts listed below are the direct cost amounts and do not include Contractor overhead, fees, insurances, or other indirect costs. Allowances are for the Owner and will be reconciled by change order. Contractor assumes no cost exposure for the assigned value of the indicated Allowances.

1. Temp Sidewalks	\$50,000
2. Temp (sidewalks) overhead covering	\$100,000
3. Furniture relocation	\$175,000
4. Existing modulars upgraded to new codes	\$75,000
5. Abatement	\$150,000
6. Cleaning, re-pointing existing exterior brick (including mockups)	\$25,000
7. Patch and repair any exterior damaged masonry (including chipping away loose areas of brick and repair spalled areas with restoration mortar) and repair spalled areas of concrete at exterior.	\$30,000
8. Replacing existing lintels and flashing including replacing brick as necessary	\$100,000
9. CMU wall opening steel reinforcements	\$100,000
10. Bracing new masonry walls to the structure	\$70,000
11. Display cases	\$25,000
12. Ramp Railing at Stage	\$45,000
13. New millwork in Classroom at Bldg. B	\$188,500
14. Repair/replace roof decking as necessary	\$126,268
15. Replacement of plywood at parapet and existing wood blocking (if necessary)	\$20,000
16. Gutter and downspouts at bus canopy	\$15,000
17. Door Hardware Materials & installation	\$352,600
18. Storefront door hardware	\$35,100
19. Smoke Partition Infill and Seal	\$150,000
20. Wolf Gordon Rampart Digital wall covering	\$33,250
21. Wall Graphics / Murals	\$25,125
22. Signage	\$50,000
23. Stage rigging and lighting and control	\$230,000
24. Fire Protection Program	\$50,000
25. New Grease Trap (including removal of existing if necessary)	\$50,000
26. Allowance for new refrigerant	\$50,000
27. New electrical panels	\$100,000
28. Redesign of loading dock (and associated scope)	\$25,000
29. Relocate items as specified on site demo plan (as necessary)	\$10,000
30. Shade structures at courtyard	\$80,000
31. Design-Build Irrigation System, Sleeves, BFP	\$60,000

TOTAL ALLOWANCES

\$2,595,843

expenses which are ordinary and customary that does not constitute a change in the Work as defined in the Agreement. The Construction Contingency can be used to offset cost overruns incurred by the Contractor for General Conditions or General Requirements. Conversely, any savings will flow into the Construction Contingency. Our GMP Proposal contains 11 percent (11.00%) design contingency and contains 3 percent (3.00%) escalation contingency.

11. The Design contingency which will be used for including but not limited to the following - additional scope (that is currently not within the GMP), change in scope, change in materials/products, change in color and size of materials/products, and/or change in quantities (compared to what is currently included within the GMP) and/or more details/sections for design clarification and mockups.
12. GMP Proposal will be valid until May 30, 2025.
13. Our schedule includes turn-around time of 15 days for submittals.
14. An assumption that to the extent the specifications do not involve design elements performed by different trades and is otherwise a customary proprietary design or engineered component requiring a professional engineer's stamp on shop drawings such as fire suppression systems, fire alarm systems and other similar activities, Construction Manager's liability for design errors and omissions is limited to amounts we recover from the subcontractor or its insurance carriers.
15. Modular Trailer Installation includes:
 - a. Relocation of 1 each, existing 4 Classroom Modular Building (relocated from flooded area to near asphalt area)
 - b. Installation / Rental / Removal of 1 each, 4 Classroom Modular Building and 1 Administrative Office Trailer.
16. All MEP installations and temporary ramps associated with the Modular Buildings including but not limited to electrical, plumbing (water/sewer), and fire protection.
17. An allowance for sidewalks and temp sidewalks overhead covering. Allowance for furniture relocation and an allowance for existing modulares code upgrades. See allowances.
18. Manufacturer standard colors.

This estimate excludes:

19. Costs for any future escalation and we will use stated escalation contingency to reconcile any trade material cost items actually been impacted by market escalation.
20. This GMP excludes delays in deliveries, increased labor costs, unavailability of materials or equipment, and/or cost escalation attributable in any way to duties and/or tariffs not in effect and enforced as of the date hereof, and Balfour Beatty reserves all rights to an equitable adjustment to the contract sum and/or contract time to reflect any impact thereon by any such duties and/or tariffs.
21. Repairs to existing structure(s) other than as provided on the Contract Documents.
22. Security guards, security cameras, or security services.
23. Any code updating of existing facility not specifically shown or identified on the documents.
24. Utility consumption fees, except temporary construction power due to this being occupied campus.
25. Design responsibility inherent in performance specifications that involve assemblies or interfaces among design elements performed by different trades or are otherwise not customary proprietary specifications obtained from single manufacturers.
26. Specifications that state the following or something substantively similar to the following 1) "delegated design: design assembly or interface, including comprehensive engineering analysis by a qualified professional engineer, using performance requirements and design criteria indicated"; 2) requirements for code compliance and design features "whether or not indicated on the drawings," and 3) references to design "by others" on the drawings.

27. All Testing and inspections.
28. Building permit fees.
29. All easements, where required.
30. All permanent encroachment agreements (transformers, vaults, etc.) shall be provided by Owner.
31. Ground water discharge permit and fees by Owner.
32. Structural engineering or inspections.
33. 3rd party NPDES monitoring & inspections.
34. 3rd party monitoring and air clearance during abatement operations.
35. 3rd party Commissioning or any Commissioning. By Owner.
36. Custom colors.
37. Mockups (unless noted otherwise).
38. Georgia Power costs associated with design, new or upgraded service, construction, or other.
39. AT&T, Comcast, or other provider costs associated with design, new or upgraded service, construction, or other.
40. Existing Utilities and Restrictions –Restrictions of existing power lines not able to be removed may cause revisions to the site logistics planning and construction operations. Upon subcontractor award and if deemed necessary, modifications initiating additional cost shall be presented to Owner.
41. Any required de-energization of power lines or relocation of telecom lines required to perform work is by Owner. Balfour Beatty will assist with coordination.

Division 2

Demolition & Abatement

This estimate includes:

1. All Selective demolition as indicated on the 50% construction documents.
2. Demolition of 115 EA existing hollow metal door frames.
3. Allowance for Abatement. See Allowances.

This estimate excludes:

4. Grinding of existing floors for mastic removal, removal of adhesives and curing compounds from concrete slabs
5. Air testing and final air clearance testing.
6. Any bracing/shoring or engineering of such as required for demolition.
7. Removal of all existing nails, brackets, plastic shield, hooks, clips, tape, screws etc. from walls, floors or ceilings.
8. Responsibility for making sure that the demo of existing masonry walls does not affect the structure of the building.
9. AHERA report.
10. Surveying for Asbestos identification

Division 3

Concrete

This estimate includes:

1. Foundation for the new masonry walls as shown.
2. Foundation at the new security vestibule
3. Footings for the new entrance canopy

This estimate excludes:

2. Reinforcing of existing concrete joists, deck or structure.

Division 4

Masonry

This estimate includes:

1. New masonry walls as shown in the 50% construction documents.
2. Brick allowance at \$500/M.
3. An allowance for cleaning, re-pointing existing exterior brick (including mockups). See allowances.
4. An allowance to patch and repair any exterior damaged masonry (including chipping away loose areas of brick and repair spalled areas with restoration mortar) and repair spalled areas of concrete at exterior. See allowances.
5. An allowance for replacing existing lintels and flashing including replacing brick as necessary. See allowances.

This estimate excludes:

6. Patching pre-existing holes/penetrations in existing masonry walls.
7. Patching holes in masonry walls, made by the removal of any existing FF&E and any wall mounted accessories.
8. Grouting of existing masonry walls.
9. Repairing existing cracks at any areas of exterior facade of any building.
10. Rework of existing masonry at windows.
11. Repairing or Replacing existing masonry walls at the Kitchen, specifically for any plumbing work.

Division 5

Metals

This estimate includes:

1. Structural steel for the canopy at the main entrance.
2. Structural steel for security vestibule addition.
3. An allowance for CMU wall opening steel reinforcements. See allowances.
4. An allowance for bracing new CMU walls to the structure. See allowances.

5. Galvanized steel for the columns at the bus canopy only.

This estimate excludes:

5. Reinforcing existing structural steel or structure (except for mechanical unit support as shown).
6. AESS finish and power coated steel
7. Light gage angles at the head of masonry walls.
8. Design responsibility for the structural steel at the bus canopy.
9. AISC certifications.
10. Exterior Stainless steel railings.

Division 6

Wood and Plastics

This estimate includes:

1. (9) Locker niches in the corridor. We have included PL-2 in Green Corridor and PL-3 in Red Corridor.
2. New wood veneer millwork (Plain Sliced White Birch) in all classrooms, music room, art room, EIP, Storage [117.2], Clinic and Lounge in areas A1 and A2.
3. New open hardwood storage cabinets in Speech room [100.2] and Work Room [99.1]
4. Satin Chromium Plated finish for exposed millwork hardware finish
5. Mobile Bookcases and Stationary Bookcases by Buckstaff in Media Center
6. PL-1 in lieu of WD-01 at Stage Ceiling / stage cove light
7. PL-1 at reception desk, reception storage, cafeteria double door walls, and stage walls.
8. PL-1 & PL-2 at media center specialist desk
9. Allowance for ramp railing at the stage at cafeteria. See allowances.
10. Allowance for Display Cases. See allowances.
11. Allowance for new millwork for all classrooms and other rooms in Bldg. B and Bldg.C. See allowances.

This estimate excludes:

12. Replacing any casework/millwork in Bldg. C
13. FRT materials for millwork
14. FSC requirements, NAF requirements
15. PL-4 Plastic Laminate
16. Replacing existing stairs at the stage.

Division 7 Thermal and Moisture Protection

This estimate includes:

1. Sheet Waterproofing at the top and front facing side of the new footing at the security vestibule.
2. Air barrier behind new metal panels and masonry veneer infills
3. Expansion Joint Covers located between existing building and new building. Covers to be featured on exterior wall, and all four sides of interior wall (80 LF).
4. Joint sealants (wall to wall and wall to head) at new CMU walls only.
5. Spray Fireproofing at new Security Vestibule only.
6. Adhered insulation at concrete deck and mechanically fastened insulation at metal decks.
7. Tapered insulation at concrete deck and non-tapered at metal. Slope is assumed to be in the structure at metal decks.
8. One (1) roof hatch.
9. Walkway pads around specified rooftop equipment, from nearest roof hatch.
10. 60 mil TPO, White.
11. Almond color gutters and downspouts; closest match to Herringbone by EFCO.
12. Standard uplift pressures at 90mph for roof
13. Standard sheet metal coping to match color of ACM at all locations shown.
14. An Allowance for a gutter and downspout system at the bus canopy (to surface drain). See allowances.
15. An Allowance to repair and/or replace the roof deck beneath the existing insulation. See allowances.
16. An Allowance to repair and/or replace the plywood at the back of parapets and replace existing wood blocking as necessary. See allowances.
17. ACM at all four faces of the bus canopy and at the roof. HPL at the underside where shown.
18. HPL in "Pura-Western" Red Cedar.
19. No more than three standard colors for the metal wall panels. Each color at the building and canopy fins are assumed to be split evenly, into a 1/3. Canopy color to one of the three colors for the entire canopy.
20. ACM fins at the canopy with metal framing backing.
21. ACM will be installed on the existing brick facade.
22. Panel joint layouts will have to be discussed to optimize the use of materials and because of fabrication limitations. Modified joint layouts with additional joints may be required and could possibly affect the pricing.

This estimate excludes:

23. Recaulking existing interior Joints
24. Recaulking existing head of wall joints.

25. Metal wall panels at gym facade.
26. 1" base layer of insulation at the roof. Insulation will be installed in an efficient way to achieve 5" minimum.
27. Replacing existing expansion joints.
28. Patching existing spray fireproofing.
29. No underground work at the downspout boots.
30. Custom size for metal wall panels.

Division 8

Doors and Windows

This estimate includes:

1. Oldcastle BE FG3000 Storefront systems
2. 1" insulated SNX 62/27 glazing at exterior storefront, and 1/4" clear glazing at interior storefront.
3. Storefront at security vestibule.
4. Two caulk beads for storefront; one interior and one exterior.
5. Level 3 bullet resistant CR Laurance slider.
6. 675 SF of Safe Haven Security Film – SW440BR. Assumed to be at all windows on front face of building, and the first 7' of security vestibule. Window Perimeter will be sealed with DOW 995.
7. One in-place mockup for a SF-01 Window (one for one window replacement)
8. Doors 96.6C, 99C, 99D and 199B as wide stile Aluminum Storefront doors.
9. Standard spray testing only (not by 3rd party)
10. An Allowance for door hardware at aluminum storefront doors. See allowances.
11. Door, Frames, & Hardware as following and attached "Door takeoff Mark-up" document:
 - a. (115 EACH) HM frames
 - b. (30 LEAF) HM doors
 - c. (119 LEAF) Wood Door (non-rated; PS White Maple, Grade A)
 - d. (7 LEAF) FRP doors in Kitchen (Priced as Special Lite SL-17)
 - e. (6 LEAF) 45-Min Wood Door
 - f. (1 LEAF) STC-46 Door and Frame at Music Room
 - g. (164 LEAF) Allowance for Door Hardware Materials and Installation. See allowances.

This estimate excludes:

12. Ultra 800 to seal perimeters of the Safe Haven film.
13. 3rd Party Water Testing.

ATTACHMENT 2 – Clarifications and Assumptions

Idlewood Elementary School

Tucker, GA

GMP Estimate
March 11, 2025

14. Bullet Resistant/ballistic glazing and framing.
15. Doors 2135A, 2135B, and 2135C as specified on the door schedule. Locations of specified doors are unknown.
16. STC rated doors and frames, unless noted otherwise.
17. Access control hardware including card readers etc.
18. Fire rated framing or glazing for the aluminum storefronts.
19. Demolition to create bigger openings in the existing exterior facade for the new windows.
20. Louvers in the doors.

Division 9

Finishes

This estimate includes:

1. Allowance for smoke partition wall infill and seal. See allowances.
2. Stage ramp framing with metal studs and plywood.
3. ACP 1: Armstrong Cortega (#704) 24" x 24" tegular edge tile on 15/16" intermediate galvanized grid in all classrooms and corridors
4. ACP 2: Armstrong Ultima health zone (#1447) 24" x 24" tegular edge tile on 15/16" intermediate galvanized grid in all restrooms, kitchen, and wet activities.
5. ACP 3: Armstrong Ultima (#1914) 24" x 48" tegular edge tile on 15/16" intermediate galvanized grid in cafeteria
6. ACP 4: Stainless Steel Ceiling Tile Panel on 15/16" intermediate galvanized grid (or EQ) around kitchen hood
7. 6" 18ga (S600162-43) studs with a layer of dens glass as infill framing in exterior canopies
8. Resinous flooring in lieu of T1 Quarry tile in Kitchen areas per email direction from Copper Carry dated Feb.24, 2025.
9. Wall tile locations and extents were still under design coordination/review. As such we have included the following quantities per wall tile type:

T3 Daltile, Colorwheel Linear, 1012 Mustard 25% of perimeter wall at Cafeteria 3'0" tall	189	SF
T1 Daltile, Quarry Tile, Arid Gray 75% of perimeter wall at Cafeteria 3'0" tall	568	SF
T2 Daltile, Colorwheel Linear, 190, Artic White - 6'0" tall at restroom wet walls	1,968	SF
T2 Daltile, Colorwheel Linear, 190, Artic White - 9'4" tall at showers	162	SF
T2 Daltile, Colorwheel Linear, 190, Artic White - 9'4" tall at water fountain back walls	392	SF
T3 Daltile, Colorwheel Linear, 1012, Mustard - 1 row accent tile	204	LF
T4 Daltile, Colorwheel Linear, 1049 Ocean Blue - 1 row accent tile	75	LF
T5 Daltile, Colorwheel Linear, 1174 Sea Breeze - 1 row accent tile	66	LF
T3 Daltile, Colorwheel Linear, 1012 Mustard - 4'0" tall over structural glazed block wall at corridor	1,264	SF

Schluter dilex AHKA cove transition at wall tile to floor transition	849	LF
--	-----	----

10. Skim coating over existing terrazzo flooring to receive LVT flooring.
11. Manufacturer standard colors for grout at all floor and wall tiles.
12. One prime coat and two finish coats of paint on all walls.
13. An allowance for wall covering and/or Wolf Gordon Rampart product at the corridor locker niches. See allowances.
14. An allowance for mural /wall graphic areas at cafeteria and corridor walls. See allowances.
15. We have included cleaning and repainting of the metal walls panels at the Gym building.

This estimate excludes:

16. 0.95 NRC for Acoustical Ceiling
17. Level 5 finish.
18. Excessive prepping of existing walls to be painted i.e removal of all existing nails, brackets, plastic shield, hooks, clips, tape, screws etc. from walls, floors or ceilings
19. New wood flooring at the Gymnasium.
20. Polishing of LVT flooring.
21. Terrazzo floors and base.
22. Moisture mitigation/remediation.
23. Major levelling and excessive floor prepping for flooring installation.
24. Patching and painting pre-existing holes and penetrations on walls, floors or ceilings.
25. Block filler for the existing masonry walls.

Division 10

Specialties

This estimate includes:

1. Mirrors (18"x30") and Surface mounted hand dryers (no other toilet accessories).
2. New fire extinguishers (17 EACH).
3. Metal Storage Shelving at storage room 98.10.
4. Toilet partitions.
5. 52 each - 8'x4' tackboards with an aluminum frame.
6. 52 each - 8'x4' magnetic steel markerboards.
7. Prefabricated aluminum floating cantilever canopies. This includes 12" extruded aluminum gutter and 3"x6" extruded aluminum flat pan decking. with a 2-coat Kynar finish at the courtyard (right outside media center and above dor 123B
8. Interior Signage to include:

Division 12 **Furnishings**

This estimate includes:

1. 1" aluminum horizontal louver blinds.

This estimate excludes:

2. Manual or Motorized roller window shades.
3. Floor mats and frames.

Division 14 **Conveying Systems**

This estimate includes:

1. N/A

This estimate excludes:

2. N/A

Division 21 **Fire Protection**

This estimate includes:

1. Wet Fire Sprinkler System per NFPA 13 at the Un-sprinklered areas of the school.
2. Use of flexible heads (drops) as required.
3. An allowance for Fire Protection Program. See allowances.

This estimate excludes:

4. Galvanized Piping.
5. Fire Pumps.
6. Non-standard fire sprinklers in color or type.
7. Dry, Pre-Action or Deluge systems.
8. Painting of any sprinkler piping unless identified as required in exposed ceilings.
9. MIC (microbiological influenced corrosion) that may be introduced into the fire protection system through the existing water supply.
10. Backflow preventers.
11. Seismic / Earthquake bracing.

12. Free standing FDC, vault, PIV.

Division 22

Plumbing

This estimate includes:

1. Using existing floor drains, troughs and floor sinks at the Kitchen.
2. Reusing existing carriers for the new plumbing fixtures.
3. Replace up to 15 roof drain bodies(keep existing rough-ins, no new drain stacks).. Includes providing of (2) new drain bodies and storm risers; daylighted for new addition.
4. 650 Linear Feet of gas piping removed and replaced. 6 roof top unit connections.
5. Modifications to existing plumbing piping only as required for new fixtures. Existing to be reused to the extent possible.
6. New floor drains at newly added bathrooms only. All other existing floor drains at existing bathrooms and to remain as-is and be reused.
7. An assumption that existing plumbing rough-in and supports do not require modifications for new plumbing fixtures.
8. An allowance for removing existing grease interceptor and installing new grease interceptor. See allowances.
9. Removing and replacing equipment on existing rough-ins in the Kitchen.

This estimate excludes:

10. New carriers for lavatories in existing bathrooms.
11. Any new underground storm line for roof drains
12. Any repair of existing to remain pipe, insulation or equipment.
13. Replacing or relocating existing floor drains in existing bathrooms or kitchen.
14. Water heaters.
15. Water meters.
16. Seismic bracing.

Division 23

Mechanical Systems

This estimate includes:

1. DDC controls by Controls Concepts Inc.
2. Turning over existing equipment to the owner (where indicated). The owner will be responsible for packing, storing and transporting the same.
3. OAU, RTU, DSS, VRFs and other equipment will be provided by Daikin or one of the acceptable alternative manufacturers as listed in the specifications.

21. Low voltage transformers.

Division 31

Sitework

This estimate includes:

1. Temporary utilities; 2" water line (387 LF), 4" fire line (387 LF), and 4" sanitary line (387 LF). All assumed to be buried.
2. Export of excess soils. Reuse of onsite soils for padding and backfill as required.
3. No water utility work beyond what is specified on the Fire Protection Drawings.
4. Approx..5'0" for the depth of storm line (except at storm detention).
5. An Allowance for Redesign of the loading dock. See allowances.
6. An Allowance for relocations of items on the demolition plan deemed "as necessary". See allowances.

This estimate excludes:

7. Improvements or modifications to the water utilities beyond what is specified at the Fire Protection Drawings.
8. Water Taps, water meters, tap/impact fees.
9. Excavation, removal, and/or replacement of unsuitable soils or rock.
10. Trash or debris removal.
11. Shoring. Underground detention is assumed to be installed via sloping of soils.
12. Replacing drain lines at the downspout boots.

Division 32

Hardscapes, Landscapes, Paving, Curb and Gutter

This estimate includes:

1. All hardscape and site furnishings as shown on 50% Construction documents.
2. Allowance for Design-Build Irrigation System, Irrigation Sleeves, and BFP. See allowances. If the irrigation system is removed from scope, there will be no warranty/guarantee of any kind on new landscaping..
3. 6-gauge perimeter fence with turnbuckle at fence per 1/C6.01.
4. Repurposing of existing vehicular gate.
5. An allowance for shade structures at courtyard. See allowances.
6. Asphalt mill and repave to a depth of 2 inch and restriping at parking lot within the design contingency.

This estimate excludes:

7. GAB under HD concrete paving and sidewalk.

8. Mid-rail brace per 8/L2.01

END OF CLARIFICATIONS AND ASSUMPTION



GENERAL NOTES - FLOOR PLAN

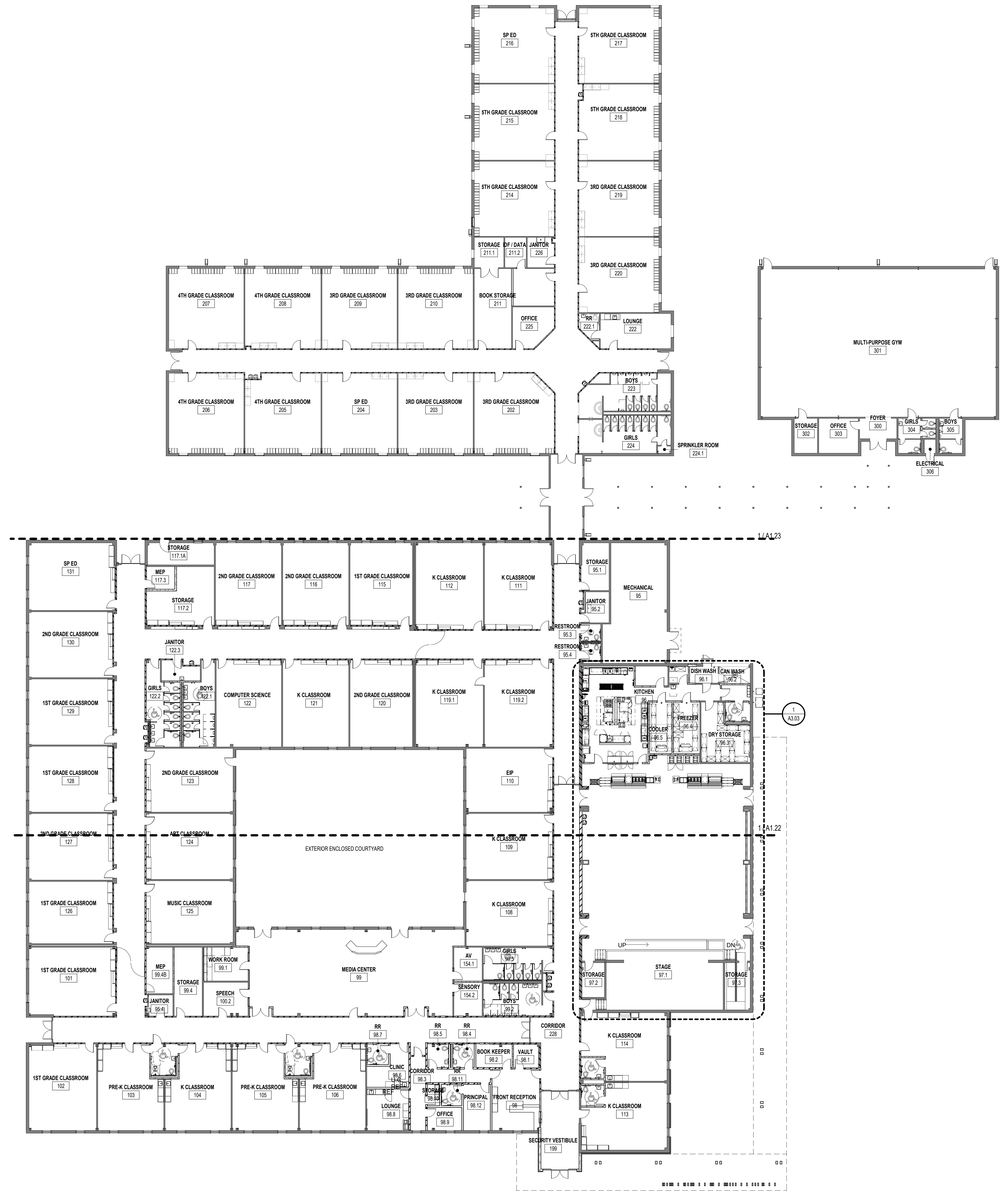
1. QUARRY TILE AT KITCHEN.
2. EPOXY OVERLAY RESTROOM.
3. LVT AT CLASSROOMS.
4. CARPET TILE AT MEDIA CENTER/ADMIN SPACE.
5. REPLACE COLORED PANELS IN CORRIDORS ABOVE LOCKER ROOMS.
6. SECURITY GLAZING AT EXTERIOR.
7. AT CORRIDORS PROVIDE TILE OVER GLAZED BLOCK, TYP.

CORRIDOR WALLS

PER 2018 NFPA 101 SECTION 15.3.6 THE EXISTING UN-RATED CORRIDOR WALLS SHALL FORM A SMOKE PARTITION IN ACCORDANCE WITH SECTION 8.4 WITH THE INSTALLATION OF THE FIRE SPRINKLER SYSTEM COMPLYING WITH SECTION 9.7. WALL PENETRATIONS ABOVE THE CEILING, LOUVERS IN ALL CORRIDOR DOORS, AND TRANSOM VENTS OVER THE DOORS WILL BE SEALED.

SMOKE PARTITIONS ARE INDICATED BY: - - - - -

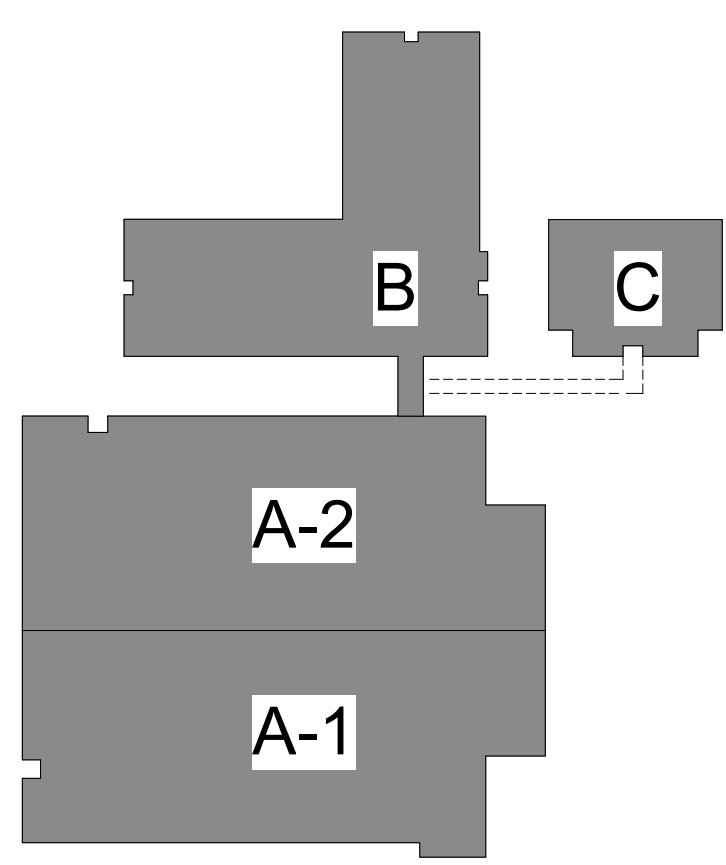
Legend		
Description	Label	
▲ 08A DFH	Exterior- HM Door	
▲ 08A DFH	HM Door	
▲ 08A DFH	Wood Doors	



SCOPE DOCUMENTS

The Contract Documents issued for [Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issued for Construction] are intended to be at that level of development and as such, may be neither complete nor coordinated. The [Construction Manager, Contractor, Design/Builder] is responsible for complete and coordinated pricing (and execution) of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of delegated designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The [Construction Manager, Contractor, Design/Builder] shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

ISSUANCES		
No.	Drawing Issue Description	Date
1	SCHEMATIC DESIGN	07/26/24
2	DESIGN DEVELOPMENT	10/21/24
3	50% CONSTRUCTION DOCUMENTS	01/15/25



IDLEWOOD ELEMENTARY

FTE: 750 IUs: 48
Facility Code: 844-1059-1330.01
Gross SF: 72,842 SF

1484 Idlewood Rd. Tucker, GA 30084

DEKALB COUNTY SCHOOL DISTRICT

OVERALL FLOOR PLAN

SOPHIA TARKHAN	20230483
Principal-in-Charge	Project No.
MASHARA WILLIAMS	1/15/2025
Project Manager	Date
MASHARA WILLIAMS	
Project Architect	
JESSICA ALEXANDER	
Staff Architect / Designer	

A1.20

PROJECT NUMBER: 20230483 PROJECT NAME: IDLEWOOD ELEMENTARY SHEET NUMBER: A1.20 - OVERALL FLOOR PLAN Autodesk Docs://20230483 Idlewood Elementary/20230483_R23_IDLEWOOD ELEMENTARY_ARCH.rvt 1/17/2025 4:41:48 PM



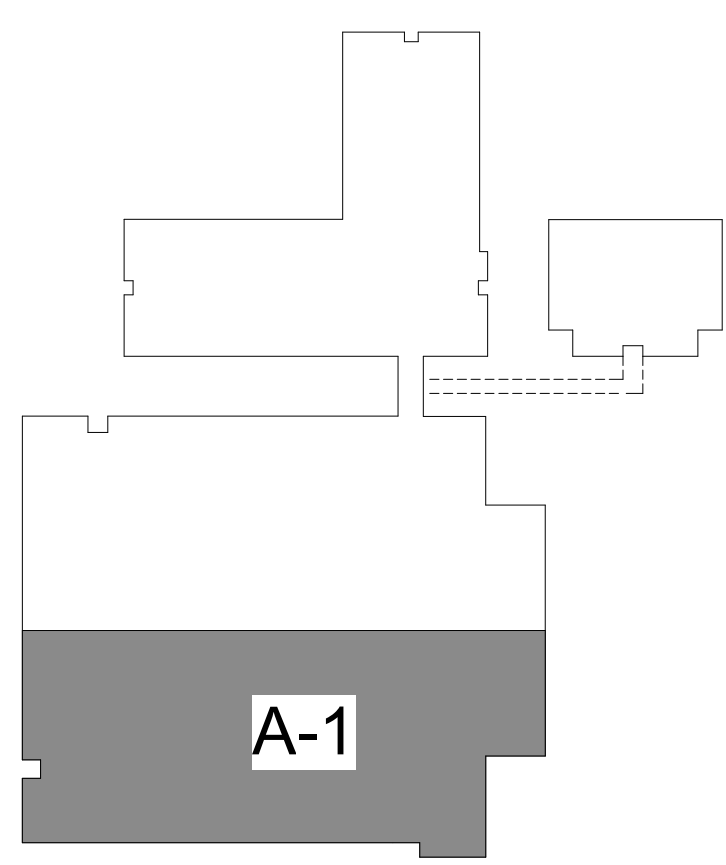
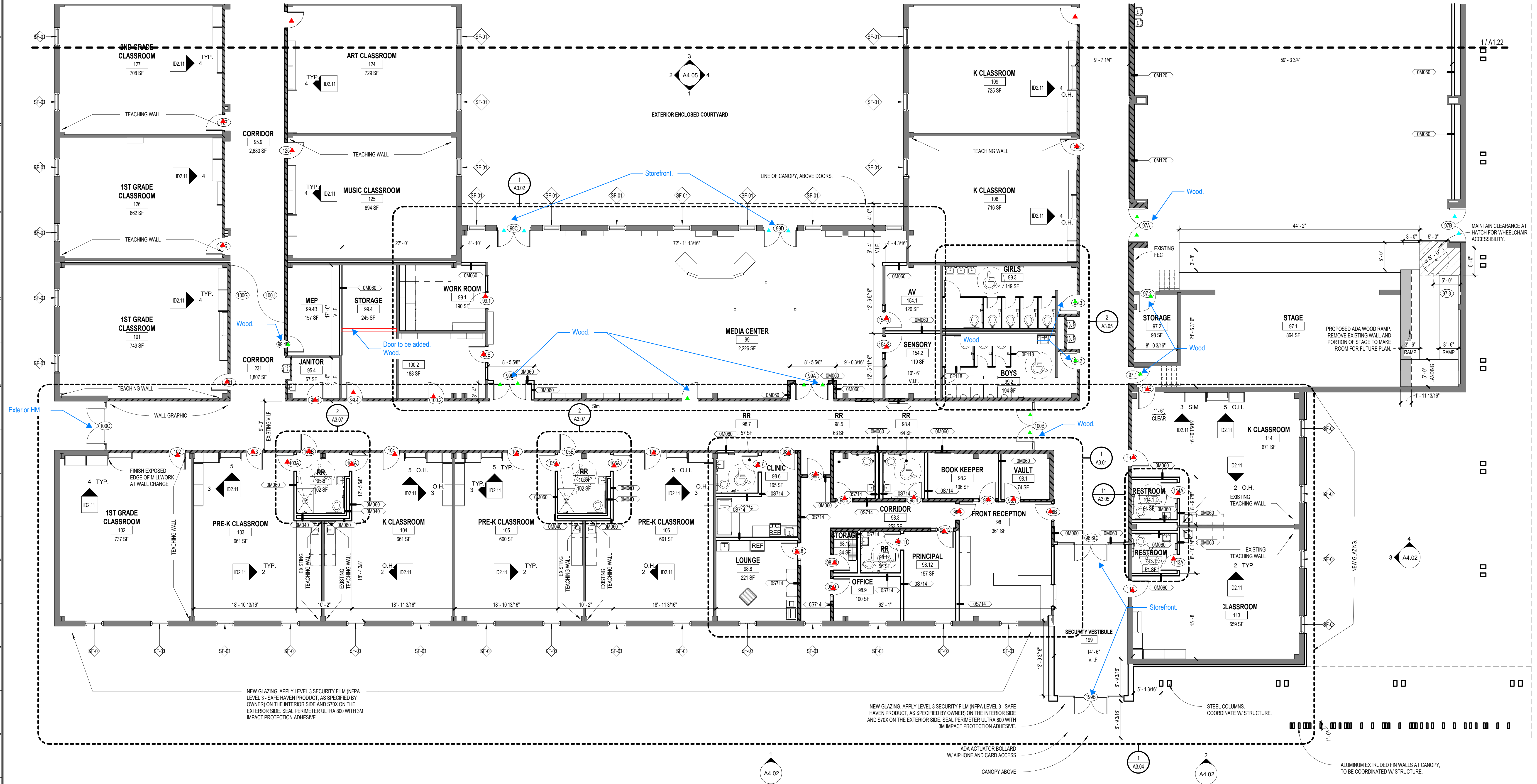
GENERAL NOTES - FLOOR PLAN

1. QUARRY TILE AT KITCHEN.
2. EPOXY OVERLAY RESTROOM.
3. LVT AT CLASSROOMS.
4. CARPET TILE AT MEDIA CENTER/ADMIN SPACE.
5. REPLACE COLORED PANELS IN CORRIDORS ABOVE LOCKER ROOMS.
6. SECURITY GLAZING AT EXTERIOR.
7. AT CORRIDORS PROVIDE TILE OVER GLAZED BLOCK, TYP.

SCOPE DOCUMENTS

The Contract Documents issued for [Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issued for Construction] are intended to be at that level of development and as such, may be neither complete nor coordinated. The [Construction Manager, Contractor, Design/Builder] is responsible for complete and coordinated pricing (and execution) of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of delegated designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The [Construction Manager, Contractor, Design/Builder] shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

ISSUANCES		
No.	Drawing Issue Description	Date
1	SCHEMATIC DESIGN	07/29/24
2	DESIGN DEVELOPMENT	10/21/24
3	50% CONSTRUCTION DOCUMENTS	01/15/25



IDLEWOOD ELEMENTARY

FTE: 750 IUs: 48
Facility Code: 644-1059-1330.01
Gross SF: 72,842 SF

1484 Idlewood Rd. Tucker, GA 30084

DEKALB COUNTY SCHOOL DISTRICT

PARTIAL PLANS - AREA A-1

SOPHIA TARKHAN	20230483
Principal-in-Charge	Project No.
MASHARA WILLIAMS	1/15/2025
Project Manager	Date
MASHARA WILLIAMS	
Project Architect	
JESSICA ALEXANDER	
Staff Architect / Designer	

A1.21

1 PARTIAL FLOOR PLAN A-1
A1.21 SCALE: 1/8" = 1'-0"

CC Markup_2/12/2025



PROJECT NUMBER: 20230483 PROJECT NAME: IDLEWOOD ELEMENTARY
SHEET NUMBER: A1.21 - PARTIAL PLANS - AREA A-1
Autodesk Docs/20230483 Idlewood Elementary/20230483_R23_IDLEWOOD ELEMENTARY_ARCH.rvt
1/17/2025 4:41:50 PM



GENERAL NOTES - FLOOR PLAN

1. QUARRY TILE AT KITCHEN.
2. EPOXY OVERLAY RESTROOM.
3. LVT AT CLASSROOMS.
4. CARPET TILE AT MEDIA CENTER/ADMIN SPACE.
5. REPLACE COLORED PANELS IN CORRIDORS ABOVE LOCKER ROOMS.
6. SECURITY GLAZING AT EXTERIOR.
7. AT CORRIDORS PROVIDE TILE OVER GLAZED BLOCK, TYP.

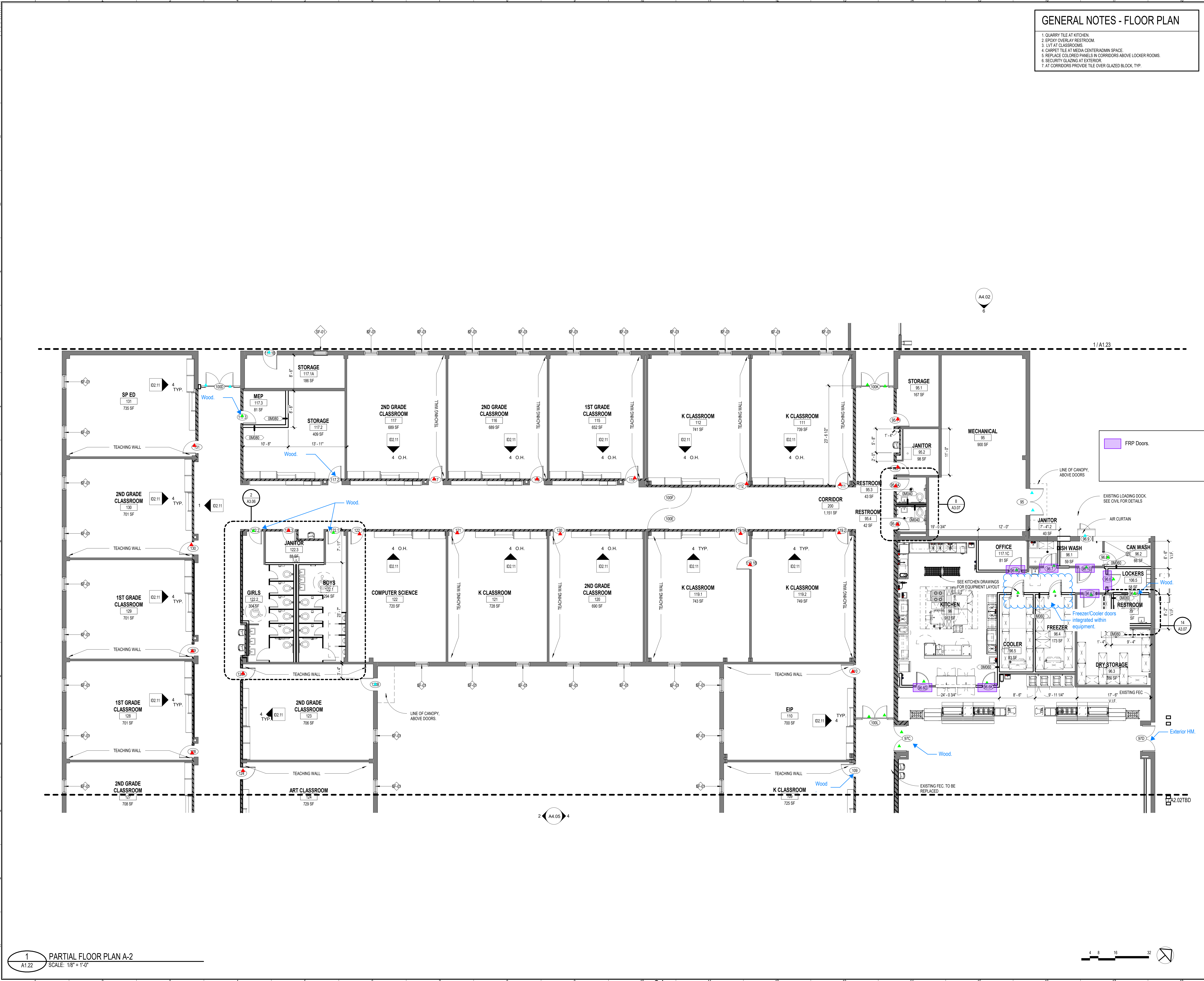
SCOPE DOCUMENTS

The Contract Documents issued for [Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issued for Construction] are intended to be at that level of development and as such, may be neither complete nor coordinated. The [Construction Manager, Contractor, Design/Builder] is responsible for complete and coordinated pricing (and execution) of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of delegated designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The Construction Manager, Contractor, Design/Builder shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

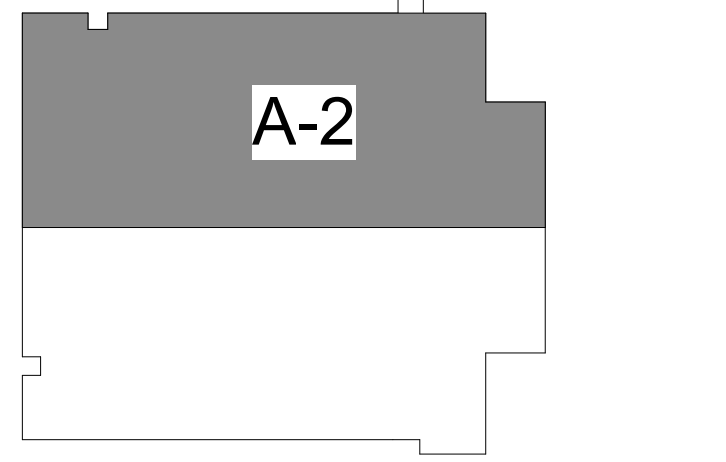
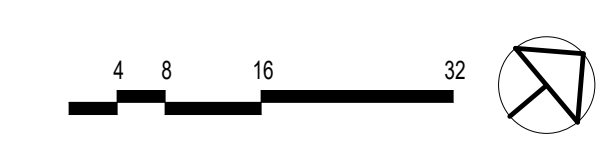
ISSUANCES

No.	Drawing Issue Description	Date
1	SCHEMATIC DESIGN	07/29/24
2	DESIGN DEVELOPMENT	10/21/24
3	50% CONSTRUCTION DOCUMENTS	01/15/25

PROJECT NUMBER: 20230483 PROJECT NAME: IDLEWOOD ELEMENTARY
SHEET NUMBER: A1.22 - PARTIAL FLOOR PLANS - AREA A-2
Autodesk Docs/20230483 Idlewood Elementary/20230483_R23_IDLEWOOD ELEMENTARY_ARCH_INT
1/17/2025 4:41:52 PM



1 PARTIAL FLOOR PLAN A-2
SCALE: 1/8" = 1'-0"



IDLEWOOD ELEMENTARY

FTE: 750 IUs: 48
Facility Code: 844-1059-1330.01
Gross SF: 72,842 SF

1484 Idlewood Rd. Tucker, GA 30084

DEKALB COUNTY SCHOOL DISTRICT

PARTIAL PLANS - AREA A-2

SOPHIA TARKHAN	20230483
Principal-in-Charge	Project No.
MASHARA WILLIAMS	1/15/2025
Project Manager	Date
MASHARA WILLIAMS	
Project Architect	
JESSICA ALEXANDER	
Staff Architect / Designer	

A1.22



GENERAL NOTES - FLOOR PLAN

1. QUARRY TILE AT KITCHEN.
2. EPOXY OVERLAY RESTROOM.
3. LVT AT CLASSROOMS.
4. CARPET TILE AT MEDIA CENTER/ADMIN SPACE.
5. REPLACE COLORED PANELS IN CORRIDORS ABOVE LOCKER ROOMS.
6. SECURITY GLAZING AT EXTERIOR.
7. AT CORRIDORS PROVIDE TILE OVER GLAZED BLOCK, TYP.

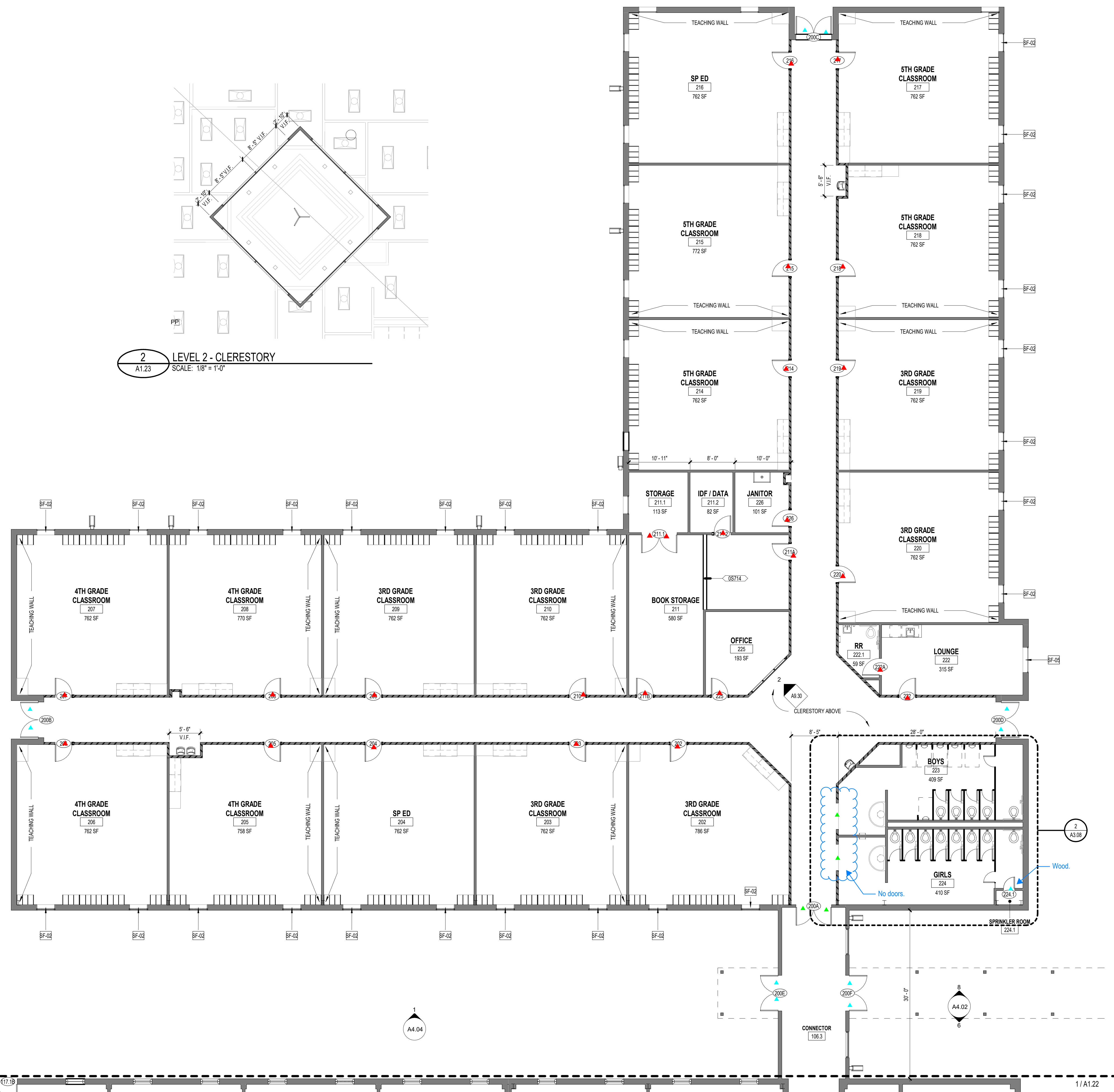
SCOPE DOCUMENTS

The Contract Documents issued for [Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issued for Construction] are intended to be at that level of development and as such, may be neither complete nor coordinated. The [Construction Manager, Contractor, Design/Builder] is responsible for complete and coordinated pricing (and execution) of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of delegated designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The [Construction Manager, Contractor, Design/Builder] shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

ISSUANCES

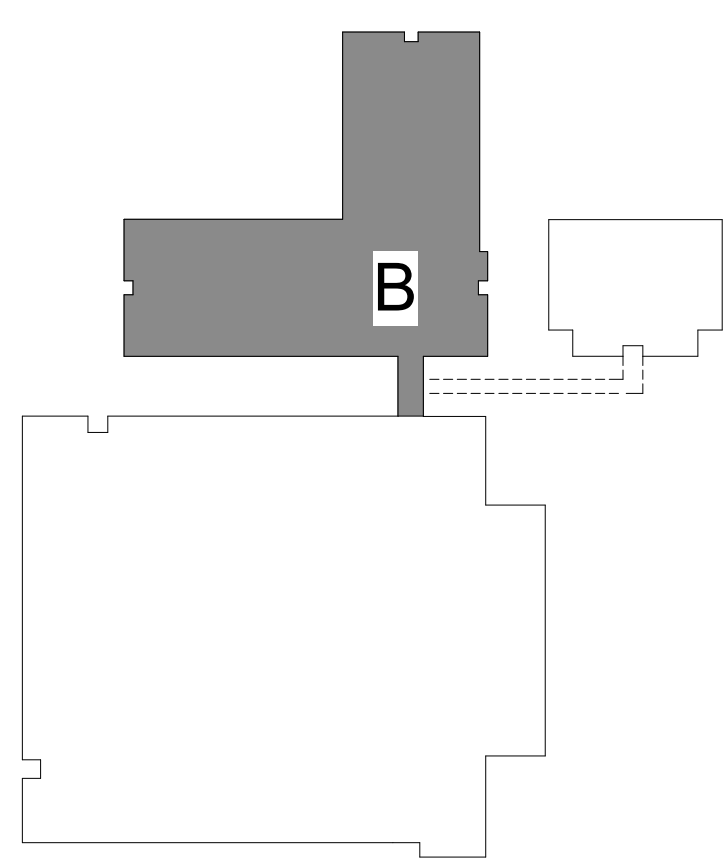
No.	Drawing Issue Description	Date
1	SCHEMATIC DESIGN	07/09/24
2	DESIGN DEVELOPMENT	10/21/24
3	50% CONSTRUCTION DOCUMENTS	01/15/25

2
LEVEL 2 - CLERESTORY
SCALE: 1/8" = 1'-0"



4
A4.03

1
PARTIAL FLOOR PLAN B
SCALE: 1/8" = 1'-0"



IDLEWOOD ELEMENTARY

FTE: 750 IUs: 48
Facility Code: 844-1059-1330.01
Gross SF: 72,842 SF

1484 Idlewood Rd. Tucker, GA 30084

DEKALB COUNTY SCHOOL DISTRICT

PARTIAL PLANS - AREA B

SOPHIA TARKHAN	20230483
Principal-in-Charge	Project No.
MASHARA WILLIAMS	1/15/2025
Project Manager	Date
MASHARA WILLIAMS	
Project Architect	
JESSICA ALEXANDER	
Staff Architect / Designer	

A1.23



PROJECT NUMBER: 20230483 PROJECT NAME: IDLEWOOD ELEMENTARY
SHEET NUMBER: A1.23 - PARTIAL PLANS - AREA B
Autodesk Docs/20230483 Idlewood Elementary/20230483_R23_IDLEWOOD ELEMENTARY_ARCH.rvt
1/17/2025 4:41:55 PM



GENERAL NOTES - FLOOR PLAN

1. QUARRY TILE AT KITCHEN.
2. EPOXY OVERLAY RESTROOM.
3. LVT AT CLASSROOMS.
4. CARPET TILE AT MEDIA CENTER/ADMIN SPACE.
5. REPLACE COLORED PANELS IN CORRIDORS ABOVE LOCKER ROOMS.
6. SECURITY GLAZING AT EXTERIOR.
7. AT CORRIDORS PROVIDE TILE OVER GLAZED BLOCK, TYP.

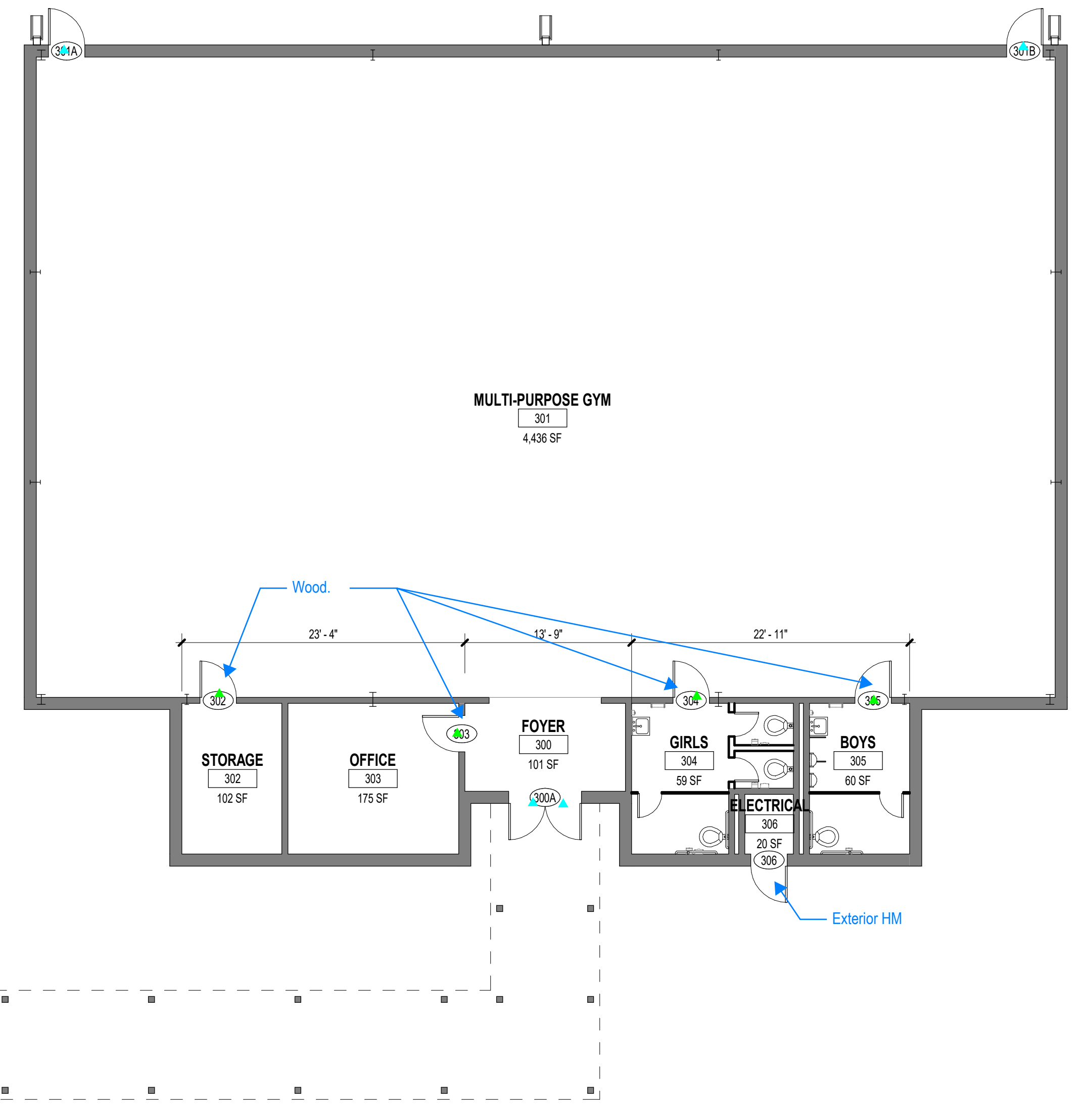
SCOPE DOCUMENTS

The Contract Documents issued for [Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issued for Construction] are intended to be at that level of development and as such, may be neither complete nor coordinated. The [Construction Manager, Contractor, Design/Builder] is responsible for complete and coordinated pricing (and execution) of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of delegated designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The [Construction Manager, Contractor, Design/Builder] shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

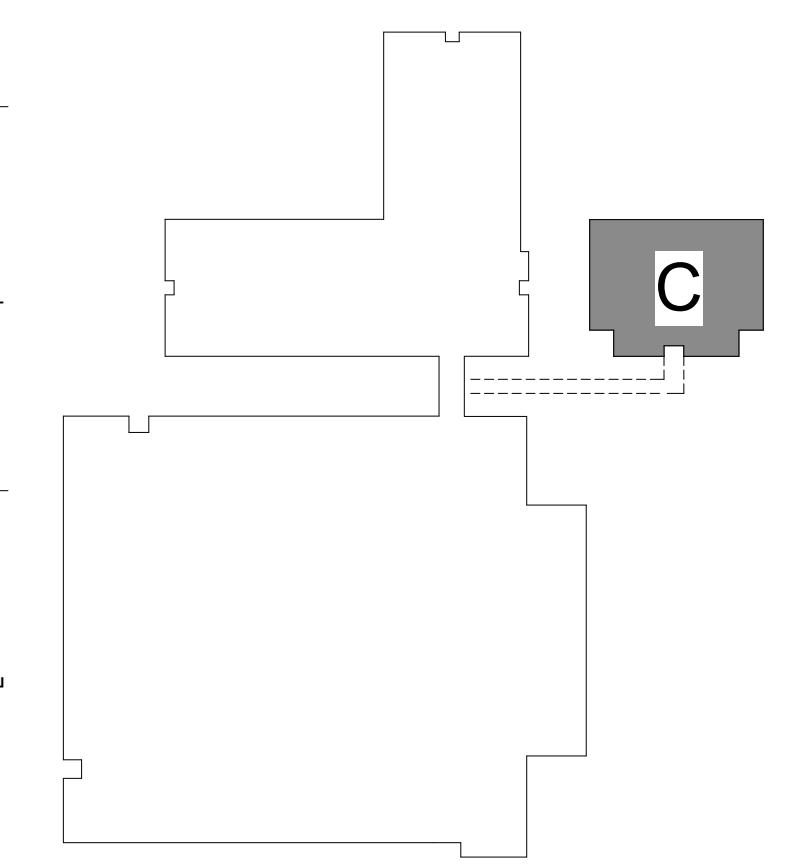
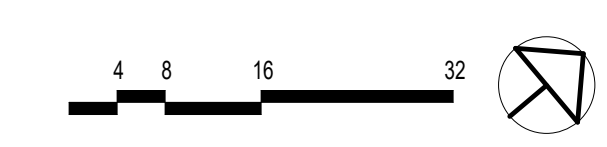
ISSUANCES

No.	Drawing Issue Description	Date
1	SCHEMATIC DESIGN	07/09/24
2	DESIGN DEVELOPMENT	10/21/24
3	50% CONSTRUCTION DOCUMENTS	01/15/25

PROJECT NUMBER: 20230483 PROJECT NAME: IDLEWOOD ELEMENTARY
 SHEET NUMBER: A1.24 - PARTIAL PLANS - AREA C
 Autodesk Docs://20230483 Idlewood Elementary/20230483_R23_IDLEWOOD ELEMENTARY_ARCH.rvt
 1/17/2025 4:41:56 PM



1 PARTIAL FLOOR PLAN C
A1.24 SCALE: 1/8" = 1'-0"



IDLEWOOD ELEMENTARY

FTE: 750 IUs: 48
 Facility Code: 844-1059-1330.01
 Gross SF: 72,842 SF

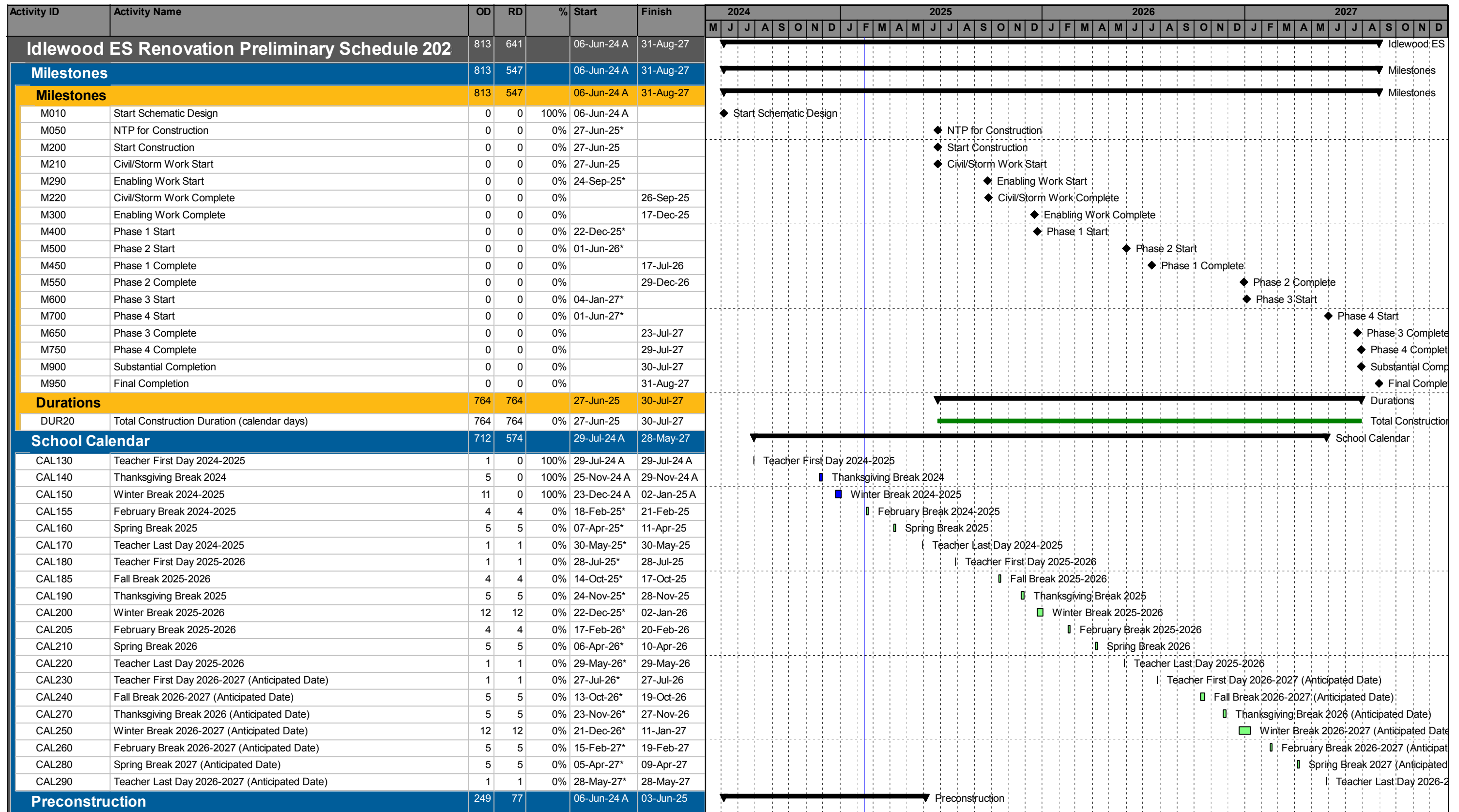
1484 Idlewood Rd. Tucker, GA 30084

DEKALB COUNTY SCHOOL DISTRICT

PARTIAL PLANS - AREA C

SOPHIA TARKHAN	20230483
Principal-in-Charge	Project No.
MASHARA WILLIAMS	1/15/2025
Project Manager	Date
MASHARA WILLIAMS	
Project Architect	
JESSICA ALEXANDER	
Staff Architect / Designer	

A1.24



- ▬ Remaining Level of Effort
- ▬ Actual Level of Effort
- ▬ Remaining Work
- ▬ Actual Work
- ▬ Critical Remaining
- ◆ Milestone
- Summary

Idlewood ES Renovation Preliminary Schedule

2025-02-13



Activity ID	Activity Name	OD	RD	%	Start	Finish	2024												2025												2026												2027											
							M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D				
Design							Design																																															
DGN100	Schematic Design	23	0	100%	06-Jun-24 A	09-Jul-24 A	Schematic Design																																															
DGN105	Schematic Design Addendum	10	0	100%	10-Jul-24 A	26-Jul-24 A	Schematic Design Addendum																																															
DGN110	Design Development	64	0	100%	29-Jul-24 A	25-Oct-24 A	Design Development																																															
DGN120	50% Construction Documents - GMP Package	75	0	100%	25-Oct-24 A	17-Jan-25 A	50% Construction Documents - GMP Package																																															
DGN130	100% Construction Documents	65	47	27.69%	20-Jan-25 A	21-Apr-25	100% Construction Documents																																															
Pricing							Pricing																																															
PRC100	SD Pricing	25	0	100%	06-Jun-24 A	26-Jul-24 A	SD Pricing																																															
PRC110	DD Pricing	34	0	100%	25-Oct-24 A	07-Feb-25 A	DD Pricing																																															
PRC120	50% CD Pricing - GMP	34	16	52.94%	20-Jan-25 A	07-Mar-25	50% CD Pricing - GMP																																															
PRC130	100% CD Price Reconciliation	30	30	0%	22-Apr-25	03-Jun-25	100% CD Price Reconciliation																																															
Permitting							Permitting																																															
PRMT100	Building Permit	35	35	0%	14-Feb-25	03-Apr-25	Building Permit																																															
Contract							Contract																																															
CNT120	GMP Package to DCSD	10	10	0%	07-Mar-25	20-Mar-25	GMP Package to DCSD																																															
CNT130	DCSD Board Approval for GMP	1	1	0%	14-May-25	14-May-25	DCSD Board Approval for GMP																																															
Procurement							Procurement																																															
Electrical							Electrical																																															
PROC1010	Prep Electrical Submittals	20	20	0%	27-Jun-25	25-Jul-25	Prep Electrical Submittals																																															
PROC1030	BBC Review/Submit Electrical Submittals	3	3	0%	28-Jul-25	30-Jul-25	BBC Review/Submit Electrical Submittals																																															
PROC1050	Review/Approve Electrical Submittals	10	10	0%	31-Jul-25	13-Aug-25	Review/Approve Electrical Submittals																																															
PROC1070	Fab/Del Switchgear (6 months)	130	130	0%	14-Aug-25	23-Feb-26	Fab/Del Switchgear (6 months)																																															
Mechanical Equipment							Mechanical Equipment																																															
PROC1000	Prep HVAC Equipment Submittals	20	20	0%	27-Jun-25	25-Jul-25	Prep HVAC Equipment Submittals																																															
PROC1020	BBC Review/Submit HVAC Equipment Submittals	3	3	0%	28-Jul-25	30-Jul-25	BBC Review/Submit HVAC Equipment Submittals																																															
PROC1040	Review/Approve HVAC Equipment Submittals	10	10	0%	31-Jul-25	13-Aug-25	Review/Approve HVAC Equipment Submittals																																															
PROC1060	Fab/Del Above Ceiling HVAC Equipment (20 weeks)	100	100	0%	14-Aug-25	09-Jan-26	Fab/Del Above Ceiling HVAC Equipment (20 weeks)																																															
PROC1080	Fab/Del Roof Top HVAC Equipment (30 weeks)	150	150	0%	14-Aug-25	23-Mar-26	Fab/Del Roof Top HVAC Equipment (30 weeks)																																															
Temporary Facilities							Temporary Facilities																																															
PROC2000	GA Power Coordination	20	20	0%	14-Feb-25	13-Mar-25	GA Power Coordination																																															
PROC2010	Permit Drawing Design/Prep	20	20	0%	14-Mar-25	10-Apr-25	Permit Drawing Design/Prep																																															
PROC2020	BB Review/Submit for Approval	3	3	0%	11-Apr-25	15-Apr-25	BB Review/Submit for Approval																																															
PROC2030	Permitting	30	30	0%	16-Apr-25	28-May-25	Permitting																																															
PROC2040	Contract Execution for Mobile Classrooms	10	10	0%	29-May-25	11-Jun-25	Contract Execution for Mobile Classrooms																																															
Construction							Construction																																															
Mobilization & Site Work - Summer/Fall 2025							Mobilization & Site Work - Summer/Fall 2025																																															
C1000	Mobilization	5	5	0%	27-Jun-25	03-Jul-25	Mobilization																																															
C1010	Install Erosion Controls	5	5	0%	27-Jun-25	03-Jul-25	Install Erosion Controls																																															
C1130	Excavation/Sitework	25	25	0%	07-Jul-25	08-Aug-25	Excavation/Sitework																																															
C1020	Grading/Underground Utilities (Water/Sewer/Fireline)	25	25	0%	08-Aug-25	12-Sep-25	Grading/Underground Utilities (Water/Sewer/Fireline)																																															
C1140	Hardscapes/Landscapes	10	10	0%	15-Sep-25	26-Sep-25	Hardscapes/Landscapes																																															
Enabling Work - Fall 2025							Enabling Work - Fall 2025																																															
C1030	Install Foundations for Modular Trailers	10	10	0%	24-Sep-25	07-Oct-25	Install Foundations for Modular Trailers																																															

- █ Remaining Level of Effort
- █ Actual Level of Effort
- ▬ Remaining Work
- ▬ Actual Work
- ▬ Critical Remaining
- ◆ Milestone
- Summary

Idlewood ES Renovation Preliminary Schedule

2025-02-13



ATTACHMENT 4 – Schedule of Values

Idlewood Elementary School

Tucker, GA

GMP

March 7, 2025

Item of Work	GMP Total
01D Relocation Logistics	\$ 1,737,071
01G General Requirements	\$ 787,635
02A Demolition	\$ 585,820
03A Foundations / SOG / Slab on Deck (Turnkey)	\$ 473,272
04A Masonry	\$ 1,346,205
05A Structural & Miscellaneous Steel (Turnkey)	\$ 566,696
06F Architectural Millwork	\$ 940,767
07A Waterproofing & Caulking	\$ 143,791
07B Roofing	\$ 1,955,116
07F Metal Wall Panels	\$ 893,842
08A Doors, Frames & Hardware (Turnkey)	\$ 665,650
08F Glass & Glazing	\$ 606,713
09A Drywall / Metal Framing	\$ 745,704
09D Painting / Wallcovering	\$ 386,571
09E Flooring	\$ 760,442
10A Toilet Partitions / Accessories	\$ 107,757
10B Visual Display Boards	\$ 40,424
10C Signage	\$ 92,709
10G Canopies / Awnings	\$ 108,052
11E Food Service Equipment	\$ 758,743
11Z Stage Curtains	\$ 300,929
12A Window Treatments	\$ 14,998
21A Fire Protection	\$ 349,768
22A Plumbing	\$ 712,933
23A HVAC	\$ 3,083,030
26A Electrical	\$ 2,304,054
31D Sitework Package	\$ 1,092,134
32E Hardscape	\$ 484,270
32F Site Fencing	\$ 49,758
32O Landscaping & Irrigation	\$ 402,264
Subtotal	\$ 22,497,118
General Conditions	\$ 3,236,673
SDI	\$ 341,956
General Liability	\$ 387,798
Performance and Payment Bond	\$ 185,153
Preconstruction Services	\$ -
Builder's Risk	\$ 59,407
Construction Contingency	\$ 1,574,798
Design Contingency	\$ 2,474,683
Escalation Contingency	\$ 674,914
Subtotal	\$ 31,432,501
Fee 5.00%	\$ 1,571,625
GRAND TOTAL	\$ 33,004,126

DCSD Idlewood ES - RFI LOG

BBC RFI #	Discipline	Drawing/Spec #	Detail #	Issue / Question	Date Submitted	Reviewer Name	Reviewer Company Name	Answer	Date Answered
1	Civil			Please provide specifications for Division 31 Earthwork, Division 32 Exterior Improvements and Division 33 Utilities	01/28/25	Roger Wells	BLP	Specifications were sent to CC on 1/8/2025	
2	Electrical	A2.20 & E101-103		Architectural Reflective ceiling plans show an extra row of fixtures in classrooms as compared to the electrical lighting floor plans. Please advise which plans are to be followed for the light fixtures counts.	01/28/25	Katie Mitchell	Cooper Carry	Follow electrical. architectural to be updated at next issuance	02/07/25
3	Electrical			It is our understanding that the owner is responsible for the low voltage equipment, devices and cabling including security/access controls, Telecom/Data (Structured cabling). Please confirm.	01/28/25	Dillon Johnson	AHP	Yes, the system componenets and cabling will be the owner's responsibility. The contractor shall include raceway and boxes for the system.	02/10/25
4	Electrical		263213	Spec section 263213 calls for Generator; however a new Generator is not shown on the electrical drawings. Please advise if we are to include a new Generator.	01/28/25	Dillon Johnson	AHP	The generator will be located in existing generator location. Forthcoming progress set will show the location	02/10/25
5	Electrical			Please provide Riser Diagram.	01/28/25	Dillon Johnson	AHP	All panels are being replaced in existing locations and power riser will be included in forthcoming progress sets.	02/10/25
6	Electrical		260526	Spec section 260526 mentions Lightning Protection System. Are we to include new Lightning Protection System ? Please advise.	01/28/25	Dillon Johnson	AHP	The lightning protection system will not be included.	02/10/25
7	Electrical			Please confirm that the existing fire alarm system at the school is a Simplex system.	01/28/25	Dillon Johnson	AHP	The fire alarm system will be new for the enitre building. The existing fire alarm system shall be replaced.	02/10/25
8	Architectural	A0.01		Note on A0.01 calls for Proposed re-design at loading dock, see Civil; however there is nothing shown on the Civil drawings. Please advise.	01/28/25	Jessica Alexander	Cooper Carry	Ramp at loading dock to be updated to meet ADA with railing. Note is pertinent upon any updates due to relocation of grease trap. CC to clarify ahead of upcoming submission.	02/07/25
9	Architectural	QF1.2		Please advise whether an alternate is acceptable to the Traulsen food service equipment.	01/29/25	Ben Pierce	Camacho	As long as the basis of design and mechanical connections are consistent a substitution will be accepted.	02/03/25
10	Architectural	ID2.11		Tiles T-2, T-4, & T-5 are shown on the finish schedule but not detailed on the plans. Please clarify locations where these tile types are needed.	01/31/25	Katie Mitchell	Cooper Carry	refer to response to RFI questions 33, 34, 36, 43, 46	02/07/25
11	Structural	S3.01	1	S3.01 / #1 calls out for "Cold-Formed metals studs by specialty engineer" for security vestibule framing but no details have been provided. Please advise.	01/31/25	Justin Hammond	Willett Engineering Company	Metal stud design in this area will be performance spec and will be designed and detailed by metal stud manufacturer	02/11/25
12	Architectural	A3.03		A3.03 / #4 & #5 shows PL-1 on 3/4" Plywood Paneling. Please confirm if these panels will be applied on the inset wall as well.	01/31/25	Katie Mitchell	Cooper Carry	PL-1 on 3/4 plywood paneling intended to wrap existing brick walls only. Do not provide at inset wall.	02/07/25
13	Architectural			The door schedule is incomplete. Please advise.	01/31/25	Jessica Alexander	Cooper Carry	All doors are to be removed/replaced, typical. Door frames are to be removed/replaced at the original building and all exterior locations typical. Architecture has updated door hardware schedule for next drawing issuance to reflected feedback received from District per meeting held 01/29.	02/07/25
14	Interior	ID2.11		Finish Material Legend on ID2.11 calls BOD for E-1 epoxy floors to be Stontec by Stonhard. Are other equal epoxy flooring products acceptable?	02/01/25	Katie Mitchell	Cooper Carry	Substitutions are acceptable. Refer to specification section 09 6723 Resinous Flooring for approved manufacturers. Alternative manufacturers would need to follow the substitution request process outlined in spec section 01 6000 Product Requirements	02/07/25
15	Interior	ID2.11		Details 17,18,19, and 20 on ID2.11 show flooring transitions. However, there is no manufacturer, and product data listed for these transitions. Please provide.	02/01/25	Katie Mitchell	Cooper Carry	Flooring contractor to provide products coordinated to work with submitted flooring types that match intent of details. Manufacturer for all vinyl / rubber transitions to match rubber base manufacturer - refer to specification section 09 6513 Resilient Base and Accessories	02/07/25
16	Interior	ID2.11		Detail 20 on ID2.11 shows no floor transition between LVT to Carpet. Please confirm.	02/01/25	Katie Mitchell	Cooper Carry	Basis of design LVT & carpet are 5mm products, so no transition is necessary. If final submitted products are not the same height, flooring contractor to coordinate required transition profile.	02/07/25
17	Plumbing	A1.30		Note 7 on A1.30 calls to replace all roof drains and overflow drains, adding new drains and relocating some drains; however the plumbing drawings do not show any changes required to the roof drains. Please clarify if there are any changes required to the existing roof drains including its complete replacement and provide associated plumbing drawing.	02/03/25	Rodney Hopkins	AHP	Plumbing drawings will be provided showing roof drain work as shown on Architectural	
18	Structural	S1.00		Foundation plan S1.00 shows new foundation for masonry walls at Art classroom, Music classroom and 2nd grade classroom, however these appear to be existing masonry walls per the architectural plans. Please clarify as to why these walls are shown with new foundations on S1.00.	02/03/25	Justin Hammond	Willett Engineering	Drawings have been updated to match architectural drawings.	02/11/25
19	Structural	S1.00		Gang restrooms are shown to get new toilet partitions per A3.05 and A3.06; however S1.00 shows new foundations for the masonry walls (to be used as partitions) at these gang restrooms. Please clarify if we are to include toilet partitions or new masonry walls at the gang restrooms.	02/03/25	Jessica Alexander	Cooper Carry	Toilet partitions are to be placed at the gang restrooms. Structure to update drawings to coordinate with Architecture.	02/07/25

20	Structural	S1.03		Main entry canopy plan shown on 2/S1.03 indicates that the columns for the canopy are not to be by Willet Engineering Company; however it is our understanding that the canopy is to be structural steel, if that is the case, these columns and the complete steel canopy will have to be designed by Willet Engineering Company. Please clarify if the main entrance canopy is to be structural steel or otherwise. If it is Structural Steel then please provide information on the column and beam size.	02/03/25	Justin Hammond	Willett Engineering	Correct, drawings will be updated and sizes will be presented in next set of drawings.	02/11/25
21	Architectural			Motorized shades are called for in the specs, but not located on the drawings. Please clarify where motorized roller shades will be needed.	02/03/25	Katie Mitchell	Cooper Carry	Modernized shades are not needed and will be removed from the specifications.	02/10/25
22	Structural			A-1 and A-2 areas of the original school building are mostly concrete structure. Is any reinforcing of the existing concrete structure required to accommodate for the installation of the new HVAC units ? If yes, please indicate which areas are to be reinforced and provide a detail.	02/03/25	Justin Hammond	Willett Engineering	Structural steel will be added under duct penetration through the slab. Typical detail will be added in next set of drawings.	02/11/25
23	Architectural	A3.01		Millwork at Front Reception is shown to be Plastic laminate. Is this supposed to be wood cabinets or plastic laminate ?	02/03/25	Katie Mitchell	Cooper Carry	Plastic laminate cabinets at the reception desk	02/07/25
24	Architectural	A3.02		Media center desk is shown to be Plastic Laminate. Is this supposed to be wood or plastic laminate ?	02/03/25	Katie Mitchell	Cooper Carry	Plastic laminate cabinets at the media specialist desk	02/07/25
25	Architectural	ID2.11		ID2.01 indicates providing PL-4 Millwork in the yellow corridor. Please provide elevations/details on this millwork.	02/03/25	Katie Mitchell	Cooper Carry	There is no millwork in yellow corridor. Note to be updated at next issuance.	02/07/25
26	Plumbing	A1.30		Note 13 on A1.30 calls to replace all of the existing Gas Piping, however this is not shown on the Plumbing plans. Please clarify if we are to re-use existing Gas piping or replace it.	02/03/25	Rodney Hopkins	AHP	Gas piping will be removed at mechanical room to boiler. Gas piping will remain to kitchen. New gas piping will be provided as required from existing gas meter set at mechanical room to roof to support HVAC equipment as required.	
27	Architectural			Is the roof at the bus canopy to be TPO or ACM ? Please clarify the roofing type at the bus canopy.	02/03/25	Jessica Alexander	Cooper Carry	ACM canopy, please reference building wall section 4/A4.10.	02/07/25
28	Architectural			Is the fascia at the bus canopy to be ACM ? Please advise.	02/03/25	Jessica Alexander	Cooper Carry	ACM canopy with HPL at portions of soffit. Please reference A0.02.	02/07/25
29	Architectural			Are the existing Standing Seam Metal wall panels at the Gymnasium to be replaced with new or are the existing ones to remain and be painted ?	02/03/25	Jessica Alexander	Cooper Carry	To remain and be painted.	02/07/25
30	Architectural			Are the fins at the bus canopy to be HPL or ACM ? Please advise.	02/03/25	Jessica Alexander	Cooper Carry	ACM. CC to update the drawings to coordinate with BB.	02/07/25
31	Architectural			Please clarify the location for ceiling type ACP-04 2x2 Stainless steel panel and grid.	02/03/25	Katie Mitchell	Cooper Carry	Intent is to provide a 2' band around the kitchen hood. Per GA Health Dept, 18" minimum of non-combustible material beyond kitchen hood is required. This may be provided in the infrastructure of the hood itself	
32	Architectural			Please advise, if we are to replace exterior glazing at the corridor clerestory.	02/03/25	Jessica Alexander	Cooper Carry	Yes, all existing glazing to be removed/replaced.	
33	Architectural	ID2.21		ID2.21 calls for T-4 tile at all perimeter walls at cafeteria up to height of existing glazed block; however per the architectural plans these walls are to be new CMU walls, so there would be no existing glazed block. 4/A3.03 that shows the elevation of this wall calls for 75% T-1 and 25% T-3 at the same location. Please advise the extent of wall tile and type of Wall tile required inside the cafeteria.	02/03/25	Katie Mitchell	Cooper Carry	There is existing glazed block at the walls to remain at the stage - tile datum line to match. If no datum line remains, tile up to (9) whole rows, approx. 3' AFF. 75% T-1, 25% T-3 ratio is correct. Tile patterns will be provided at next issuance.	02/07/25
34	Architectural			Please clarify if we are to install wall tiles only at the Restroom wet walls and provide the height required for these wall tiles including the type of tile required.	02/03/25	Katie Mitchell	Cooper Carry	Tile at wet walls only T-2 - field tile at all gang restrooms / toilets T-3 / T-4 accent tiles at girls / womens gang restrooms and single toilets 95.4, 98.5, 98.11, 106.4, 114.1, 222.1 T-3 / T-5 accent tile at boys gang restrooms and single toilets 95.3, 95.6, 98.4, 98.7, 113.1, 229 wall tile to be (18) whole rows (approx. 6') overall dimension, ashlar install. Allow for one row each of accent tiles listed. Elevation to provided at next issuance.	02/07/25
35	Architectural			Per Finish schedule on ID2.11. it calls for Quarry tile in the Kitchen. Please provide the extent of Quarry tile in the Kitchen. What would be the flooring type in Office, Dish Wash, Canwash, Restroom, Lockers, Janitor, Dry Storage etc. areas in the Kitchen. If any wall tile is required in any of these areas, then please indicate.	02/04/25	Katie Mitchell	Cooper Carry	Quarry tile to be provided at all kitchen and kitchen support spaces excluding walk-ins and restroom: 96, 117.1C, 96.1, 96.2, 106.5, 96.3, Restroom 229 floor should be epoxy	02/07/25
	Architectural	ID2.11		Please clarify the locations for installing Tile T-2 and Tile T-5 that are listed in the finish schedule on ID2.11.	02/04/25	Katie Mitchell	Cooper Carry	Locations will not extend beyond the areas identified to receive wall tile (media center, cafeteria, restrooms, wet wall behind water fountains, and corridor outside cafeteria) but final color locations are still being coordinated.	02/11/25
37	Architectural	095113		Per Finish schedule, all ceilings tiles are by Armstrong. However, Armstrong is not listed on the Spec 095113. Please advise.	02/04/25	Katie Mitchell	Cooper Carry	Armstrong is indicated in the drawings, so Armstrong is acceptable per 09 5113.2.3.A	02/07/25
38	Architectural	ID2.11		ID2.11 calls out for PLAM bench but ID2.12 / #1 calls out for the bench to be 3/4" Plywood. Please advise	02/04/25	Katie Mitchell	Cooper Carry	Bench to be plastic laminate on 3/4 plywood substrate. 1/ID2.12 to be updated	02/07/25
39	Architectural			It is our understanding that all millwork will have plywood construction. There are few locations like reception desk and media center specialist desks on the drawings that call out for plastic laminate. Please advise.	02/04/25	Katie Mitchell	Cooper Carry	refer to responses for RFI Questions 23 & 24. media specialist, corridor millwork, and receptionist should all be plastic laminate. all other locations should be hardwood	02/11/25

40	Architectural	A1.04		Per A1.04, all millwork in building B classrooms to remain. However, during our site visit, we noticed few damaged millwork and wanted to confirm if we need to pickup allowance for that. Please advise.	02/04/25	Jessica Alexander	Cooper Carry	District has asked BB to include an allowance for millwork replacement within the classrooms at the Area B. Please share with CC the extent of damage noted within this area to be discussed with team.	02/10/25
41	Architectural	A3.02		Per Furniture schedule on A3.02, bookcases (tag 6, 7, 8) to be CFCI. There is a detail for full depth bookcase on ID2.11 but per spec 115123, those bookcases are from selective manufacturers. Please advise.	02/04/25	Katie Mitchell	Cooper Carry	06 mobile bookcases will be OFOI furniture. 07 & 08 bookcases should be supplemented to match existing architecture to verify if existing is millwork or a product.	02/07/25
42	Architectural	A1.02		Per Note-16 on A1.02, all bookcases in the media center to be salvaged. However, per furniture schedule on A3.02, bookcase to be CFCI. Please advise.	02/04/25	Katie Mitchell	Cooper Carry	Contractor to salvage, clean, and reuse existing. Supplement as needed with new units to match.	02/07/25
43	Interior	ID2.21		3/ID2.21 indicates wall tile on glazed block corridor wall at one location. Would this tile be installed throughout the corridor walls?	02/05/25	Katie Mitchell	Cooper Carry	Wall tile in the corridor to be provided only at the yellow corridor outside the cafeteria and at wet wall behind water fountains throughout building	02/11/25
44	Architectural	A0.02		A0.02 calls for all elements of canopy to be prefinished to match storefront color; however the canopy is Structural Steel. Please clarify if the steel canopy columns need to be painted to match the storefront color (to the extent possible).	02/06/25	Jessica Alexander	Cooper Carry	Steel canopy columns to be painted to match the selected storefront color.	02/07/25
45	Architectural			Please confirm that there would be no new floor base to be installed in corridors, classrooms etc. because of the existing cove base of the structural glazed block.	02/06/25	Katie Mitchell	Cooper Carry	Paint at structural block base will not hold up. Provide specified rubber base where structural block is to be painted. Where walls are to receive tile, provide ceramic tile to the floor with a schluter dilex AHKA cove transition. Tile base detail to be included at next issuance	02/07/25
46	Architectural			Please confirm that all of the existing structural glazed block throughout the main building will have to be painted.	02/06/25	Katie Mitchell	Cooper Carry	Structural block to be painted except at areas to receive wall tile (Media Center, Cafeteria, restrooms, corridor outside Cafeteria)	02/07/25
47	Electrical			Are we to replace existing Switchgear ? If yes, please provide specifications.	02/06/25	Holden Parker	AHP	Existing Switchgear is to remain.	02/11/25
48	Plumbing	MD1.01,MD1.02; P3.01		Are we to replace water heaters shown to be demo'd on sheet MD1.01 and MD1.02? There are no water heaters shown on Plumbing sheets.	02/07/25	Will Fox	AHP	"Hot water heaters" referenced on the mechanical drawings are finned radiation heaters and are not being replaced. Will revise note to clarify heater type.	02/10/25
49	Architectural	A3.03		The stage curtains appear to only be a main and rear curtain as opposed to a full curtain system with valance, side tabs, and borders. Please confirm that the scaled down curtain is what is intended.	02/07/25	Jessica Alexander	Cooper Carry	Full curtain system to be provided. CC to update the drawings in next issuance.	02/07/25
50	Plumbing			Are we to replace existing carriers (not sure if there are any or if they are wall plates) for the lavatories and the urinals, or do we reuse the existing? Replacing wall carriers would require demolishing existing CMU walls and therefore would add to the costs.	02/07/25	Rodney Hopkins	AHP	At existing fixtures being replaced in same location, will utilize whatever is already there.	02/10/25
51	Plumbing	A9.20		A9.20 indicates new height for ADA sinks and toilets. It also provides new height for the Urinals which are not ADA. Are we to change the mounting height of all of the existing urinals per 4/A9.20 ? Please advise.	02/07/25	Rodney Hopkins	AHP	Urinals will be hung back at existing height, one will need to be handicap accessible.	02/10/25
52	Architectural			Please provide specification for transaction window.	02/07/25	Jessica Alexander	Cooper Carry	To be coordinated with the District per standard.	02/07/25
53	Architectural		102123	Spec section 102123 calls for Cubicle curtain and track. Please provide the location for the cubicle curtain and track.	02/07/25	Katie Mitchell	Cooper Carry	To be provided at clinic	02/11/25
54	Plumbing	A1.01		In reference to General note #39 "relocate grease trap and provide cooling at mechanical room", what grease trap is this referring to and where should it be relocated to?	02/10/25	Jessica Alexander	Cooper Carry	Plumbing engineer has provided a note to DCSD addressing findings associated with the grease trap. CC team to discuss next steps with District.	02/13/25
55	Architectural	ID2.02	Note 3	Note 3 says to use Type B signage at toilet rooms, however Type B is shown to be directional and room signage. Please clarify.	02/10/25	Katie Mitchell	Cooper Carry	Toilet Rooms & Restrooms to receive Types C or D signs, depending on if they meet ADA.	02/11/25
56	Architectural	ID2.02	Note 4	Note 4 asks to provide 40 signs of Type C, however Type C is shown to be restroom signage. Please clarify if Note 4 applies to the detail 6 directional signage.	02/10/25				
57	Architectural	ID2.02	Note 5	Note 5 says to use Type D signage for misc rooms, but Type D is detailed as restroom signage. Please clarify if Detail 4 signage is what is intended.	02/10/25	Katie Mitchell	Cooper Carry	Detail 4 (Type B) signs should be provided at these locations	02/11/25
58	Architectural	083473.16		There is section for Sound Control Wood Door Assemblies but it's not clear where it will be applied. Please advise.	02/13/25	Jessica Alexander	Cooper Carry	Yes, within Music Room.	02/20/25
59	Structural			It is our understanding that we are to remove existing rip-rap and install new cheek walls at the stairs; however it is unclear if the existing railing at the stairs is to be completely replaced or do we clean and repaint. Please advise.	02/16/25	Zhen Feng	Cooper Carry	Keep existing handrail, clean and repaint.	02/20/25
60	Interior	A2.24, ID2.01		ID2.01 calls for painting of walls at Multipurpose Gym. However, it is not clear if we are to paint the exposed OTS. Please clarify	02/18/25	Katie Mitchell	Cooper Carry	Yes, paint existing deck.	02/25/25
61	Interior	ID2.11		Finish Material Legend on ID2.11 indicates WC-1 on cafeteria walls. Does WC-1 get installed at the wall graphic locations indicated in detail 4 on A3.03? Are there any other locations in the cafeteria that get WC-1?	02/18/25	Katie Mitchell	Cooper Carry	WC-1 also to be provided at all corridor niches - refer to detail 1/ID2.11	02/25/25

ATTACHMENT 5 – List of Itemized General Conditions

GMP – Idlewood Elementary School
Tucker, GA

GMP Package
March 26, 2025

Category	General Conditions
Project Manager	X
Superintendent	X
Assistant Superintendent	X
Project Engineer	X
Safety Manager	X
Scheduler	X
Project Accountant	X
Trailers/Job Office	X
Job office furniture	X
Temporary Parking	X
Lap tops	X
Ipads	X
Cell Phones	X
Job Site Internet	X
Copiers	X
Office Equip	X
Office Supplies	X
Vehicles, Fuel, Maintenance	X
Record Retention	X
Document Reproduction	X
Postage & Couriers	X
Project Photo Documentation	X
Site Signage	X
Drug Testing	X
Water, Ice, Cups	X
Mobilization (prime)	X
Demobilization (prime)	X

ATTACHMENT 6 – List of Subcontractors & Major Suppliers
Idlewood Elementary School
Tucker, GA

GMP
 March.26, 2025

Item of Work	Subcontractor
01D Relocation Logistics	Mobile Modular
02A Demolition	Landmark, Alpha Omega, Green Circle
03A Foundations / SOG / Slab on Deck (Turnkey)	Hard Rock, Div. 3, Wheeler Services
04A Masonry	Masonry Dixie, ATL Masonry, Eagle Masonry
05A Structural & Miscellaneous Steel (Turnkey)	Rays Stairs, ICM, SteelTech
06F Architectural Millwork	Div.6, American Woodwork, CBD
07A Waterproofing & Caulking	Chambless, Metro Waterproofing
07B Roofing	RoofTech, HBC, Innovative Roofing
07F Metal Wall Panels	Kistler, SEAS, Peachtree Protective Covers
08A Doors, Frames & Hardware (Turnkey)	Kelly Brothers, Unified, CD Morris
08F Glass & Glazing	A-1, G+S Glass, CGM
09A Drywall / Metal Framing	Astro, United, Baker, Ochoa
09D Painting / Wallcovering	Ortiz, Baker Paint, Bobby Taylor, Goodman
09E Flooring	DCO, CP Build, AAA Commercial, ProFloors
10A Toilet Partitions / Accessories	Restroom Stalls and all, Robinson
10B Visual Display Boards	TBD
10C Signage	Henry Graphics, Pinnacle
10G Canopies / Awnings	Mitchell Metals, Peachtree Protective
11E Food Service Equipment	11400 Inc., Singer, Stafford Smith, Boelter
11Z Stage Curtains	GA Stage, Mainstage
12A Window Treatments	DCO, Prestige
21A Fire Protection	Fire Sprinkler of ATL, Chattanooga Fire, Amber Fire
22A Plumbing	Gill Plumbing, Clarkeson, Rawlins
23A HVAC	5 Seasons, Conditioned Air, ASL Mechanical
26A Electrical	J&I Cordon, Penco, Metropower
31D Sitework Package	Lewis Contracting, RE-Site
32E Hardscape	Wheeler services, Curbco
32F Site Fencing	D&D Fence, 1st Fence
32O Landscaping & Irrigation	Mayer, South Fulton, Visionscapes

Alternates

Alternate amounts listed below are the direct cost amounts and do not include Contractor overhead, fees, insurances, or indirect costs. Alternates may be incorporated by future Change Order. Alternate pricing is good for twenty (20) days.

1. N/A